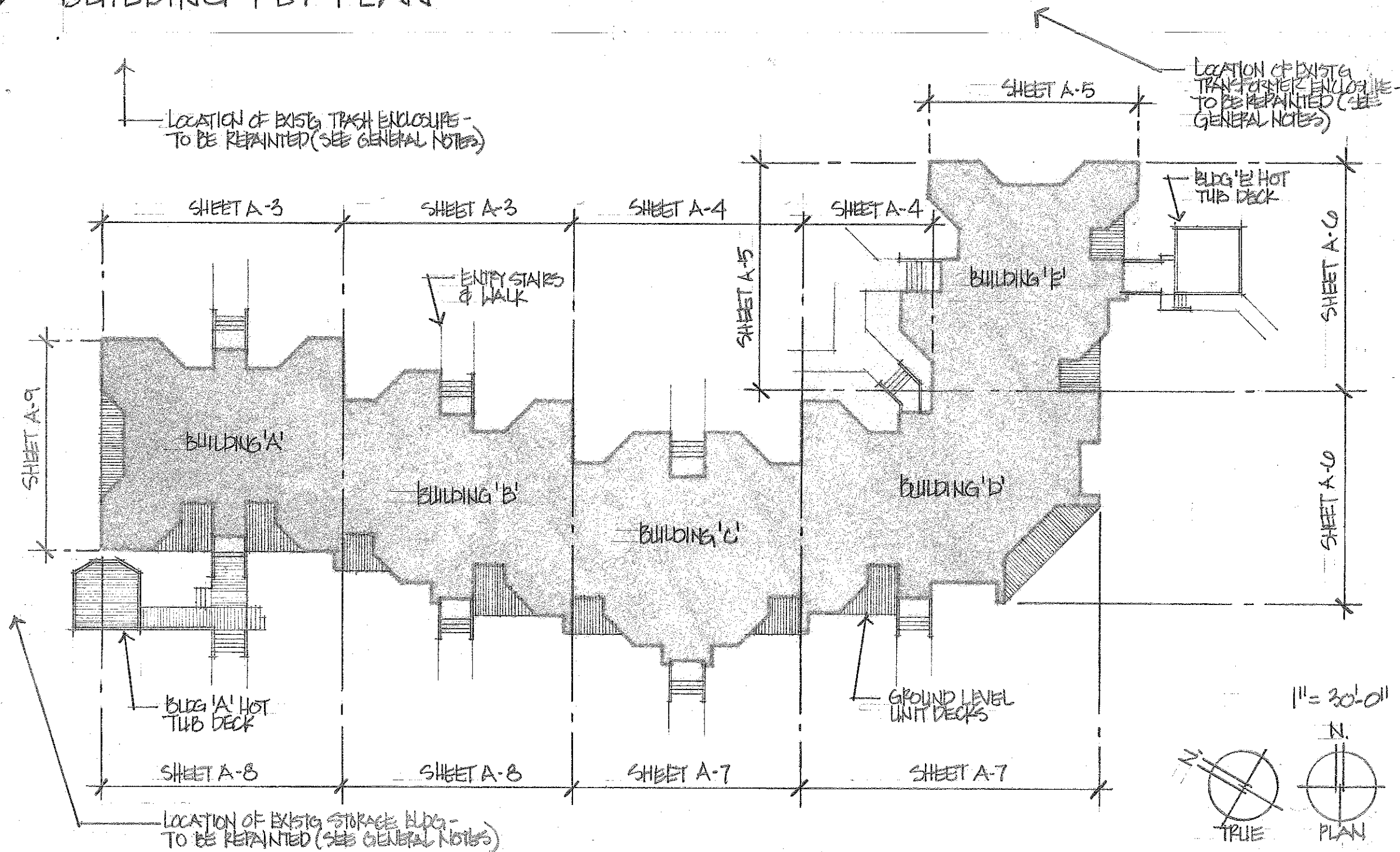
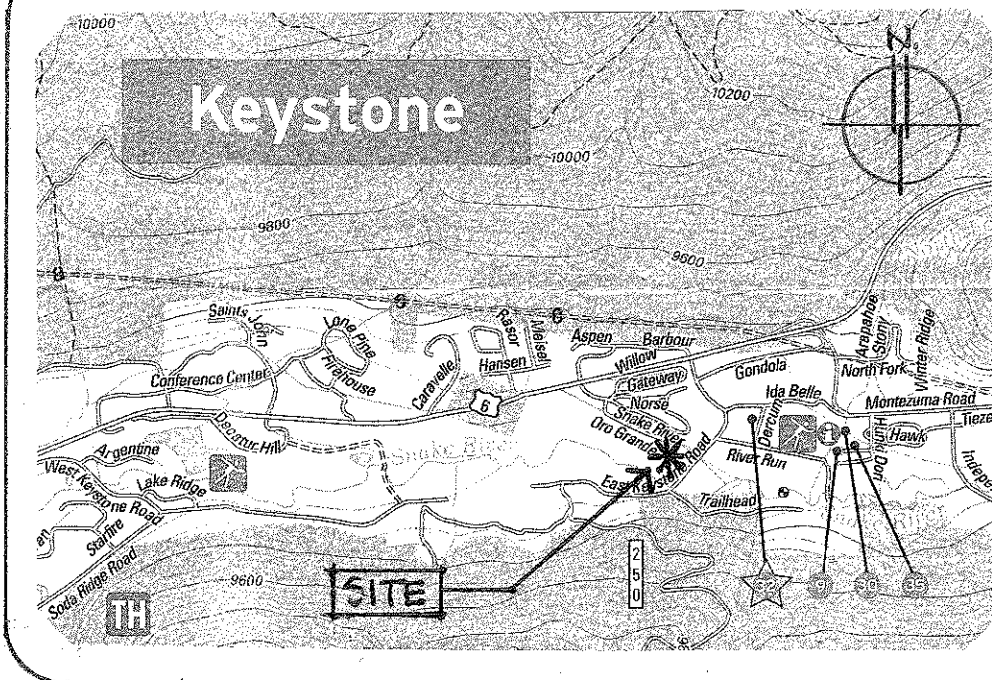


BUILDING KEY PLAN



VICINITY MAP



PROJECT DATA

1. Architectural drawings for this project are from portions of the existing construction plans for the building dated 1982. Per such plans, the exterior wall is insulated 2x6 wood frame construction with 1/2" ext. gyp. sheathing/wood siding on the exterior face & 5/8" type 'x' gyp. board/4 mil. poly vapor barrier on the interior face. This wall envelope must be maintained with regard to repair and/or replacement of the exterior gyp. sheathing under new work.
2. Per the existing construction plans, this building was designed under the 1979 Uniform Building Code.
3. New work for this project (design & construction) shall be under the 2012 International Building Code as adopted by Summit County, Colorado. The Occupancy Group is R-2.

GENERAL NOTES

1. Architectural drawings for this project are from portions of the existing construction plans for the building dated 1982. Per such plans, the exterior wall is insulated 2x6 wood frame construction with 1/2" ext. gyp. sheathing/wood siding on the exterior face & 5/8" type 'x' gyp. board/4 mil. poly vapor barrier on the interior face. A copy of such plans may be available for reference during the course of new construction work.
2. The architectural drawings for this project do not accurately reflect all existing conditions. As-built conditions may vary & the work may need to be adjusted accordingly. The Contractor is to verify all conditions on the job site prior to ordering any materials or beginning any work. Notify the Architect of any conflicts or discrepancies in the drawings immediately. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until such has been fully resolved with written direction from the Architect.
3. The Owner & Contractor are advised that since this work involves remodeling of existing conditions that are concealed & cannot be examined by the Architect without damage to the existing building, the details & methods of repair/replacement may need to be adjusted to incorporate additional items of work. The Contractor shall notify the Architect when such conditions are encountered. A reasonable change in the scope of the work will then be negotiated.
4. It is understood by the parties that the existing building may, as a result of post-construction, use, maintenance, operation or occupation, contain or be caused to contain mold or toxic substances which can present health hazards & result in bodily injury, property damage and/or necessary remedial measures & cost. Owner agrees to release, indemnify & hold Architect harmless from & against all claims, costs, liabilities & damages including reasonable attorney's fees & costs, arising in any way from the existence of mold or toxic substances as a result of the use, maintenance, operation, or occupation of the completed project. Owner further agrees to

include in the contract for construction a provision whereby the Contractor shall defend, indemnify & hold the Architect harmless from any claims arising in any way from the existence of mold or toxic substances as a result of the Contractor's workmanship or construction means, methods, techniques, sequencing or procedures, including without limitation, the failure to protect materials during the construction process.

5. At the time of bidding period & prior to bid opening, the Contractor is strongly advised to visit the site to observe & become familiar with existing conditions of & around the building.
6. There are a number of existing wall penetrations (i.e. vents, lights, intercoms, etc.). Installation of new materials to be modified as required for accommodating these remaining penetrations.
7. Proposed location for staging area (storage, dumpster, etc.) & construction parking to occur in the parking lot. Specific areas to be reviewed, coordinated & confirmed with the Owner & Architect prior to commencement of construction. Temporary fencing/gate may be required to secure the staging area.
8. Contractor to ensure that existing entry drive & any fire lanes are to remain open & unobstructed for the duration of the project.
9. It is the responsibility of the Contractor to protect all existing elements within the vicinity of new work & adjacent properties from damage during construction. This includes, but is not limited to asphalt pavement, walks & landscape. Damaged areas or items are to be repaired and/or replaced to match existing at the Contractor's expense.
10. These drawings do not include the necessary components for construction safety. The Contractor shall be responsible for providing safety during construction & shall comply with state & federal regulations.
11. It is the intent & meaning of these drawings that the Contractor is to provide all labor, materials, transportation, supplies, equipment, etc. as necessary to complete the project within the recognized standards of the industry.

SHEET INDEX

- A-1 TITLE SHEET
- A-2 BUILDINGS 'A' & 'B' NORTH/SOUTH ELEVATIONS - EXISTING
- A-3 BUILDINGS 'A' & 'B' NORTH ELEVATION - NEW WORK
- A-4 BUILDINGS 'C' & 'D' NORTH ELEVATION - NEW WORK
- A-5 BUILDING 'E' WEST & NORTH ELEVATIONS - NEW WORK
- A-6 BUILDINGS 'D' & 'E' EAST ELEVATION - NEW WORK
- A-7 BUILDINGS 'C' & 'D' SOUTH ELEVATION - NEW WORK
- A-8 BUILDINGS 'A' & 'B' SOUTH ELEVATION - NEW WORK
- A-9 BUILDING 'A' WEST ELEVATION - NEW WORK; HALF WALL GUARDRAIL ELEVATIONS; HANDRAIL DETAILS; RISER DETAIL; BANDBOARD DETAILS
- A-10 NEW MATERIAL DESCRIPTION/SPECIFICATION

PROJECT TEAM

OWNER

FROSTFIRE CONDOMINIUMS HOA
C/O BOARD OF DIRECTORS
1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

MANAGEMENT COMPANY

SUMMIT RESORT GROUP
250 LAKE PULLEN DRIVE
P.O. BOX 2510
PULLEN, COLORADO

ARCHITECT

JW Architecture, LLC
29 AUDREY CIRCLE
BRECKENRIDGE, COLORADO

CONTRACTOR

JW
architecture, llc

Jerry Westhoff, ala 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net

**FROSTFIRE
CONDOMINIUMS
EXTERIOR FACELIFT**
1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

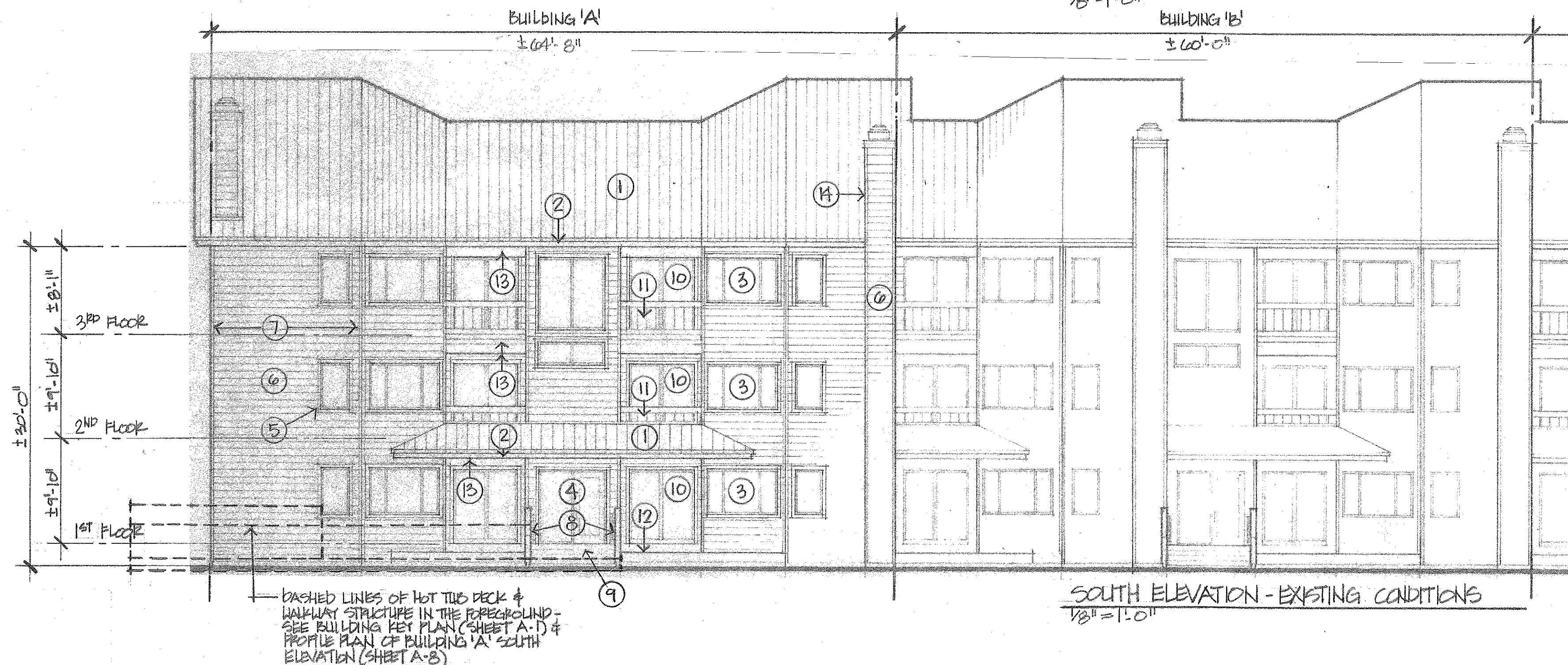
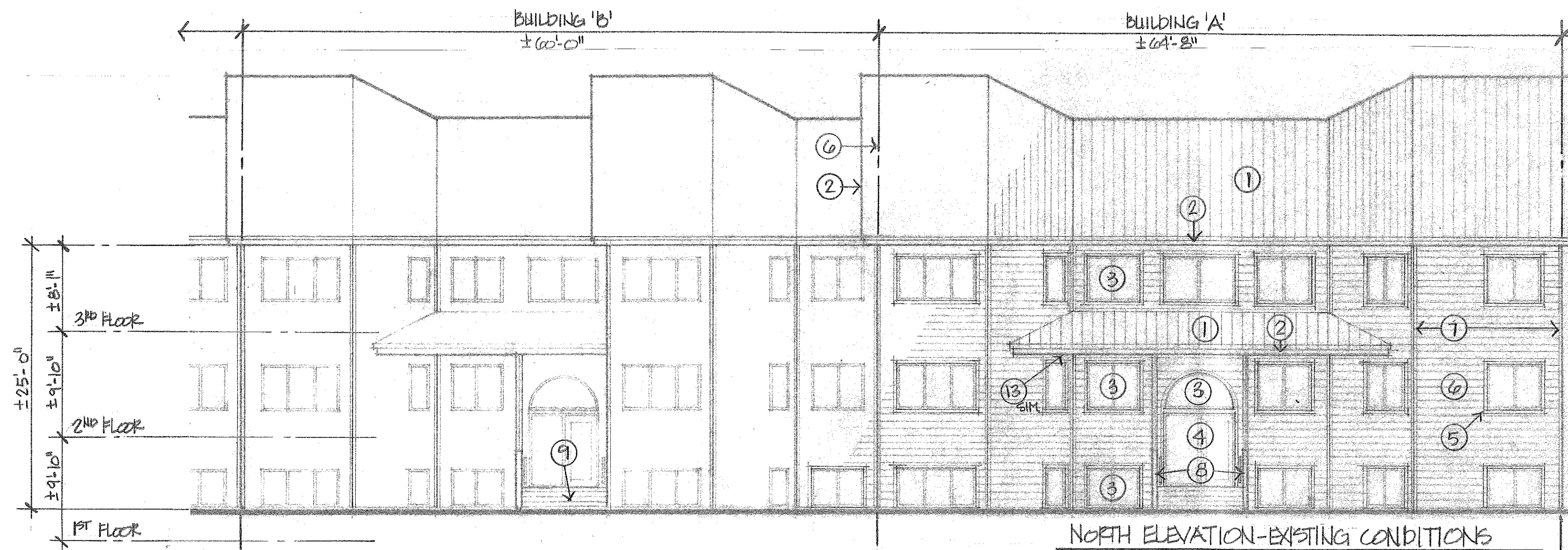
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SHEET

A-1

OF 10

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KEY NOTES - EXISTING CONDITIONS:

- | | | | |
|---|--|--|---|
| 1 Pre-finished standing seam metal roof | 5 1x4 wood trim (typical at door & window openings) | 9 Entry stairs - wood risers/metal grip strut landing & treads | 13 Wood soffit & exposed beam/fascia above unit decks & entry areas |
| 2 Wood fascia trim/soffit at gables & eaves | 6 Horizontal wood siding; drop siding style; ±7" reveal (±1-1/2" groove; ±5-1/2" face) | 10 Pre-finished aluminum frame unit deck sliding doors | 14 Fireplace chase for unit flues |
| 3 Pre-finished aluminum frame windows | 7 1x4 wood trim at corners (inside & outside) | 11 Metal guardrail at upper level unit decks | |
| 4 Hollow metal entry door/sidelite/frame | 8 Half wall wood framed guardrail/wall mounted metal handrails at entry stairs | 12 Wood deck structure at ground level units | |
- Note: Roof, fascia, doors, windows, entry stairs, half wall wood guardrail, metal guardrail, deck structure & fireplace elements/materials to remain unless noted otherwise. All other materials to be removed as req'd for proper installation of new materials as indicated on sheets A-3 thru A-9. Typical for all elevations of the whole building.



Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwaarchitecture.net

FROSTFIRE CONDOMINIUMS EXTERIOR FACELIFT

1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

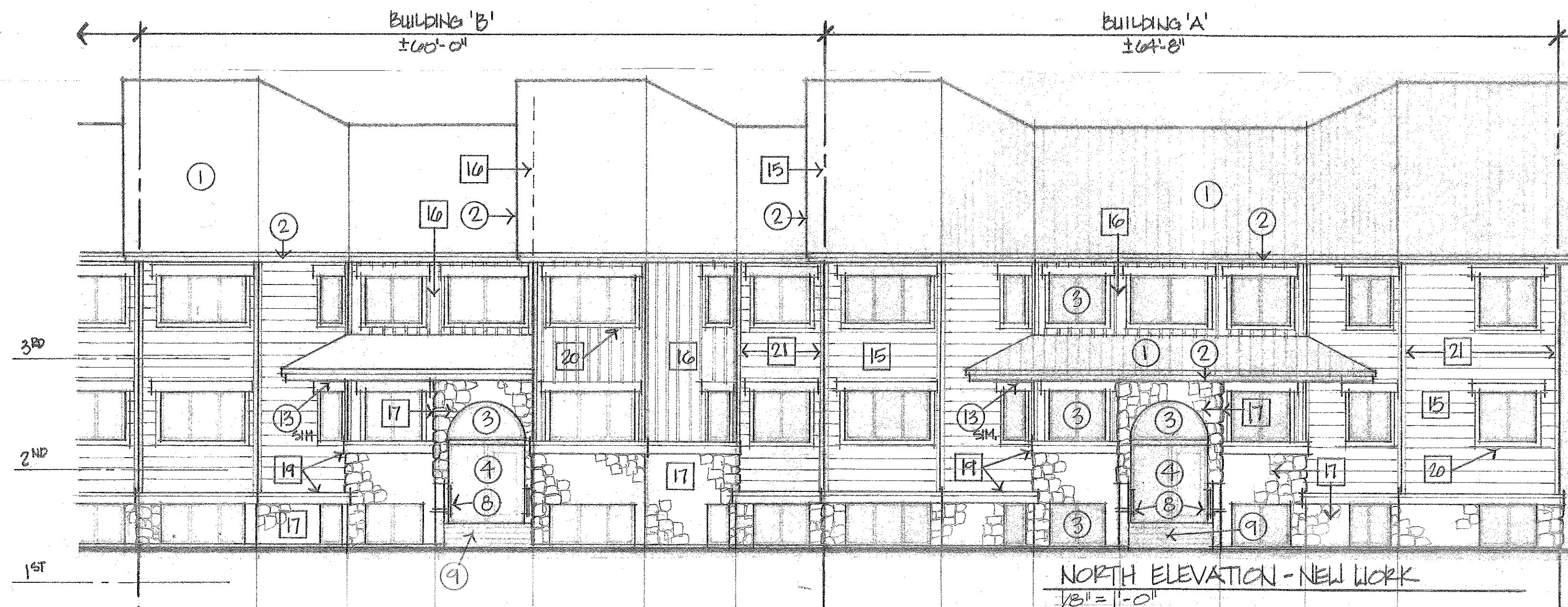
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NORTH ELEVATION - NEW WORK
1/8" = 1'-0"

PROFILE PLAN NOTES - NEW WORK:

- A** Low bandboard/horizontal siding/stone veneer
- B** High bandboard/horizontal siding/stone veneer
- C** High bandboard/vertical siding/stone veneer
- D** Vertical siding

- E** New metal wall mounted handrails (similar to details on sheet A-9)
- F** Vertical siding with 3.5" trim around all sides of sliding door (typical at back wall of all unit decks/all floors on east & south building elevations)

Note: The profile plan is provided to show return/side walls not seen in elevation. The symbols/descriptions are meant to help depict general pattern & combination of new materials on a wall plane. Intent is that change of new material finishes is to occur at inside corners wherever possible. New work key notes are added to help address specific areas/walls.

KEY NOTES - NEW WORK:

- 1** Existing pre-finished standing seam metal roof
- 2** Existing wood fascia trim/soffit at gables & eaves - to be repainted
- 3** Existing pre-finished aluminum frame windows
- 4** Existing hollow metal entry door/sidelite/frame - to be repainted (exterior side/edges)

- 8** Existing half wall/wood framed guardrail - wall mounted metal handrails to be replaced with new & new finish at wall per details on sheet A-9
- 9** Existing entry stairs - new metal plate cover over existing wood risers per detail on sheet A-9
- 10** Existing pre-finished aluminum frame unit deck sliding doors
- 11** Existing metal guardrail at upper level unit decks - to be repainted (both sides - top/bottom rails & balusters)

NOTE: PROVIDE NEW PRE-FIN METAL ELECT PANEL BOX W/DOOR MOUNTED ON SIDE OF HALF WALL GUARDRAIL FOR RE-INSTALLATION OF EXISTG UNIT INTERCOMS/KEY BOXES WITHIN THE BOX. SIZE & LOCATION TO BE COORDINATED BY ARCHITECT & OWNER. (TP & ALL ENTRY STAIRS ALONG THE NORTH & WEST ELEVATIONS)

- 12** Existing wood deck structure at ground level units - wood decking & fascia to be replaced with new composite decking & fascia trim (similar to Trex)
- 13** Existing wood soffit & exposed beam/fascia above unit decks & entry areas - to be repainted
- 14** Existing fireplace chase for unit flues - provide new metal siding around all exposed sides (including back side above the roof)
- 15** New horizontal lap siding (also at exposed gable end walls above the roof where indicated)

- 16** New vertical board & batten siding (also at exposed gable end walls above the roof where indicated)
- 17** New stone veneer (no trim at door & window openings)
- 18** New metal siding
- 19** New horizontal bandboard trim
- 20** New trim at door/window openings
- 21** New trim at corners (inside & outside)

JW
architecture, llc

Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net

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KEystone, COLORADO

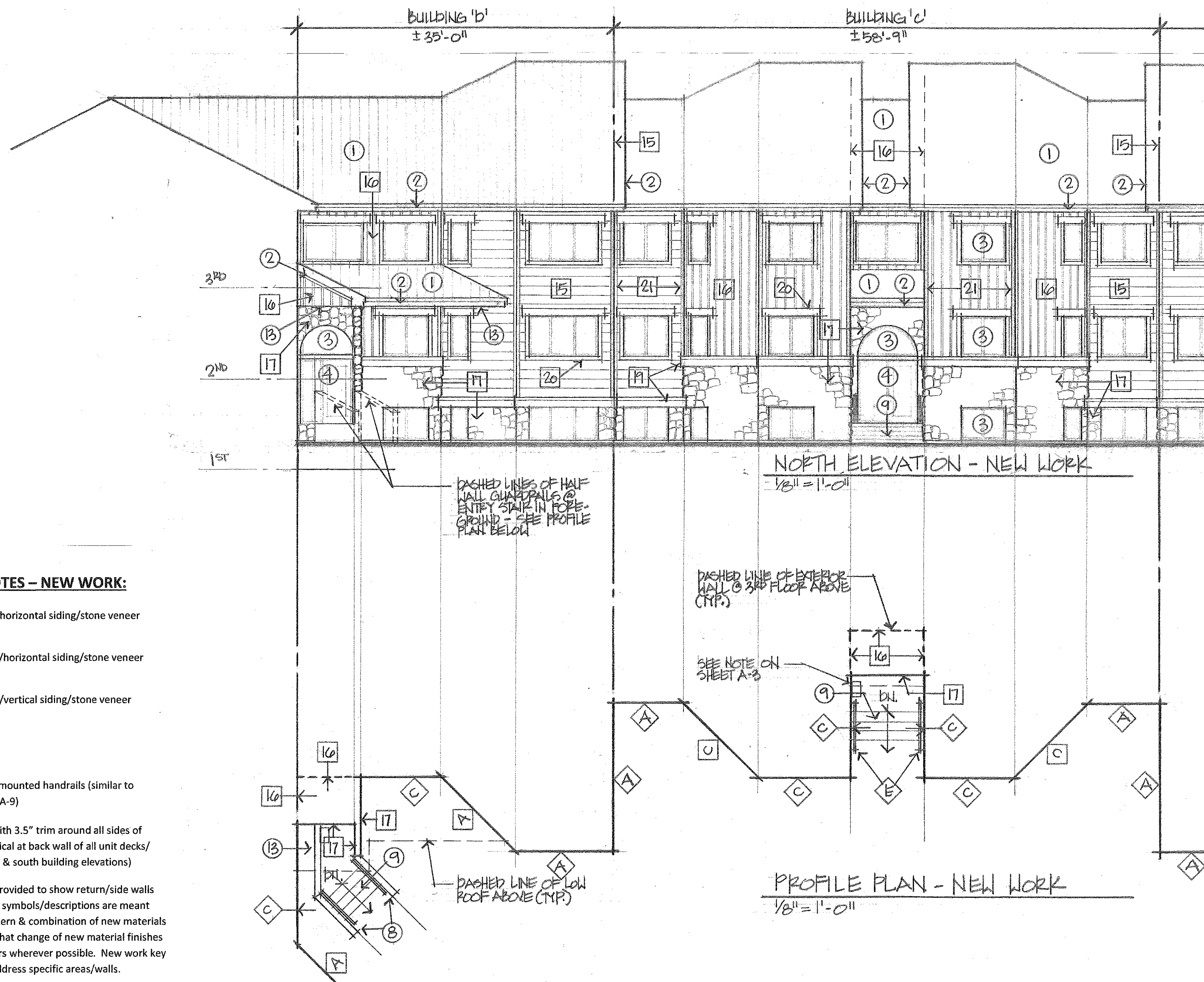
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A-3

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PROFILE PLAN NOTES – NEW WORK:

- A** Low bandboard/horizontal siding/stone veneer
- B** High bandboard/horizontal siding/stone veneer
- C** High bandboard/vertical siding/stone veneer
- D** Vertical siding
- E** New metal wall mounted handrails (similar to details on sheet A-9)
- F** Vertical siding with 3.5" trim around all sides of sliding door (typical at back wall of all unit decks/ all floors on east & south building elevations)

Note: The profile plan is provided to show return/side walls not seen in elevation. The symbols/descriptions are meant to help depict general pattern & combination of new materials on a wall plane. Intent is that change of new material finishes is to occur at inside corners wherever possible. New work key notes are added to help address specific areas/walls.

KEY NOTES – NEW WORK:

- | | | | |
|---|---|--|---|
| <p>1 Existing pre-finished standing seam metal roof</p> <p>2 Existing wood fascia trim/soffit at gables & eaves - to be repainted</p> <p>3 Existing pre-finished aluminum frame windows</p> <p>4 Existing hollow metal entry door/sidelite/ frame - to be repainted (exterior side/edges)</p> | <p>8 Existing half wall/wood framed guardrail - wall mounted metal handrails to be replaced with new & new finish at wall per details on sheet A-9</p> <p>9 Existing entry stairs - new metal plate cover over existing wood risers per detail on sheet A-9</p> <p>10 Existing pre-finished aluminum frame unit deck sliding doors</p> <p>11 Existing metal guardrail at upper level unit decks - to be repainted (both sides - top/bottom rails & balusters)</p> | <p>12 Existing wood deck structure at ground level units - wood decking & fascia to be replaced with new composite decking & fascia trim (similar to Trex)</p> <p>13 Existing wood soffit & exposed beam/fascia above unit decks & entry areas - to be repainted</p> <p>14 Existing fireplace chase for unit flues - provide new metal siding around all exposed sides (including back side above the roof)</p> <p>15 New horizontal lap siding (also at exposed gable end walls above the roof where indicated)</p> | <p>16 New vertical board & batten siding (also at exposed gable end walls above the roof where indicated)</p> <p>17 New stone veneer (no trim at door & window openings)</p> <p>18 New metal siding</p> <p>19 New horizontal bandboard trim</p> <p>20 New trim at door/window openings</p> <p>21 New trim at corners (inside & outside)</p> |
|---|---|--|---|



Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jmwarchitecture.net

FROSTFIRE CONDOMINIUMS EXTERIOR FACELIFT 1653 ORO GRANDE DRIVE KEYSTONE, COLORADO

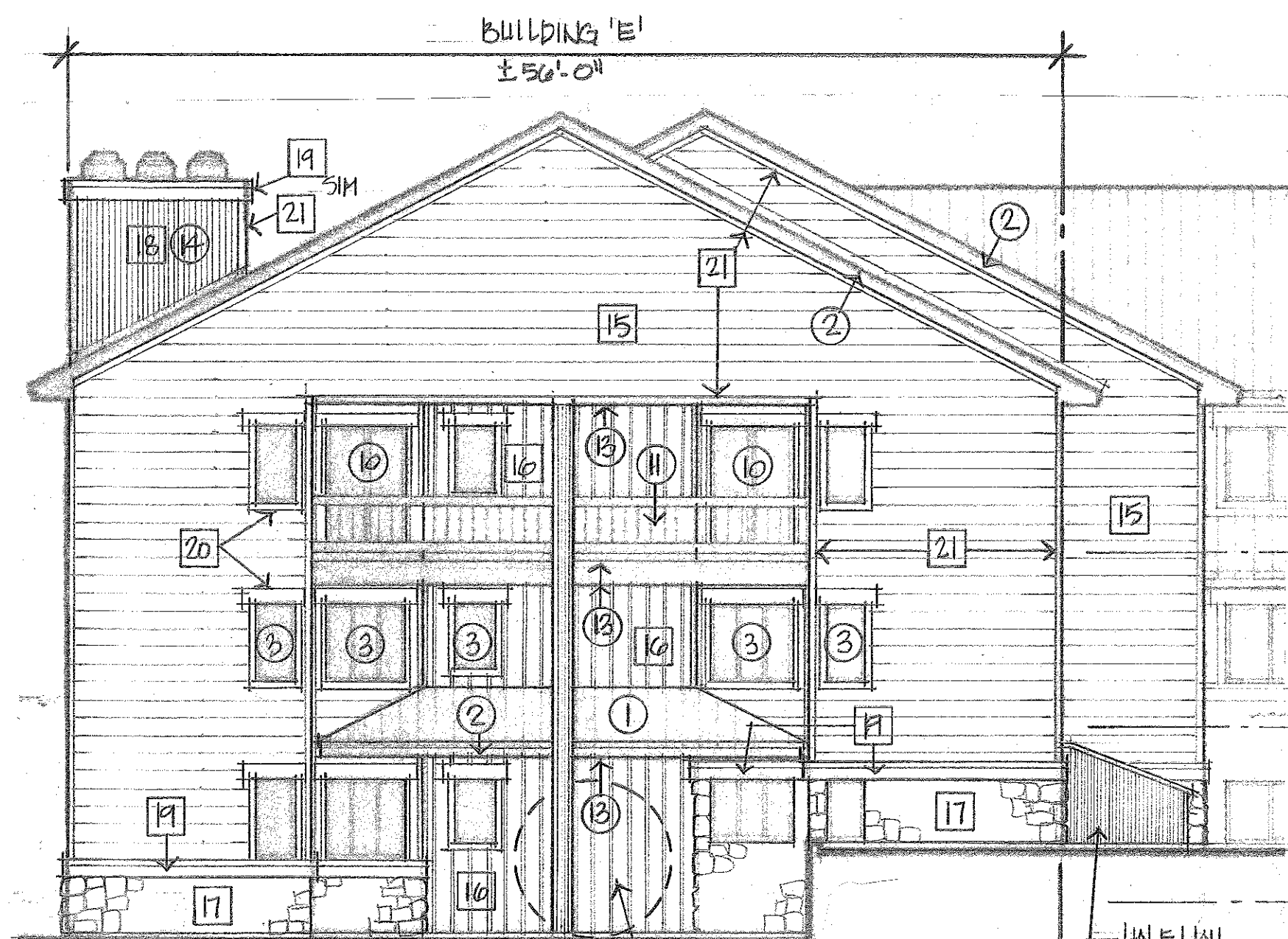
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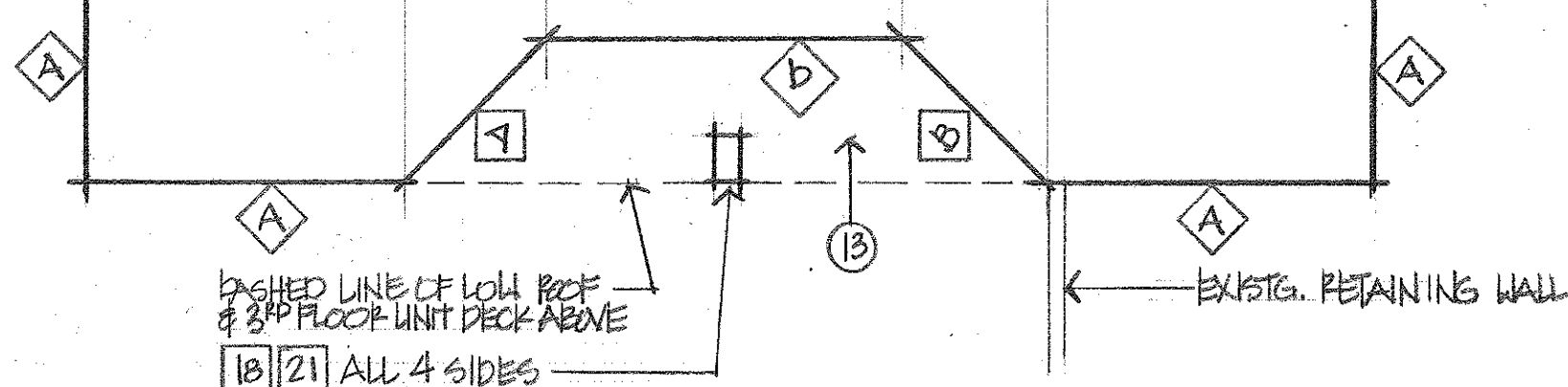


NORTH ELEVATION - NEW WORK

1/8" = 1'-0"

BANK OF EXISTG GAS METERS @ THIS LOCATION

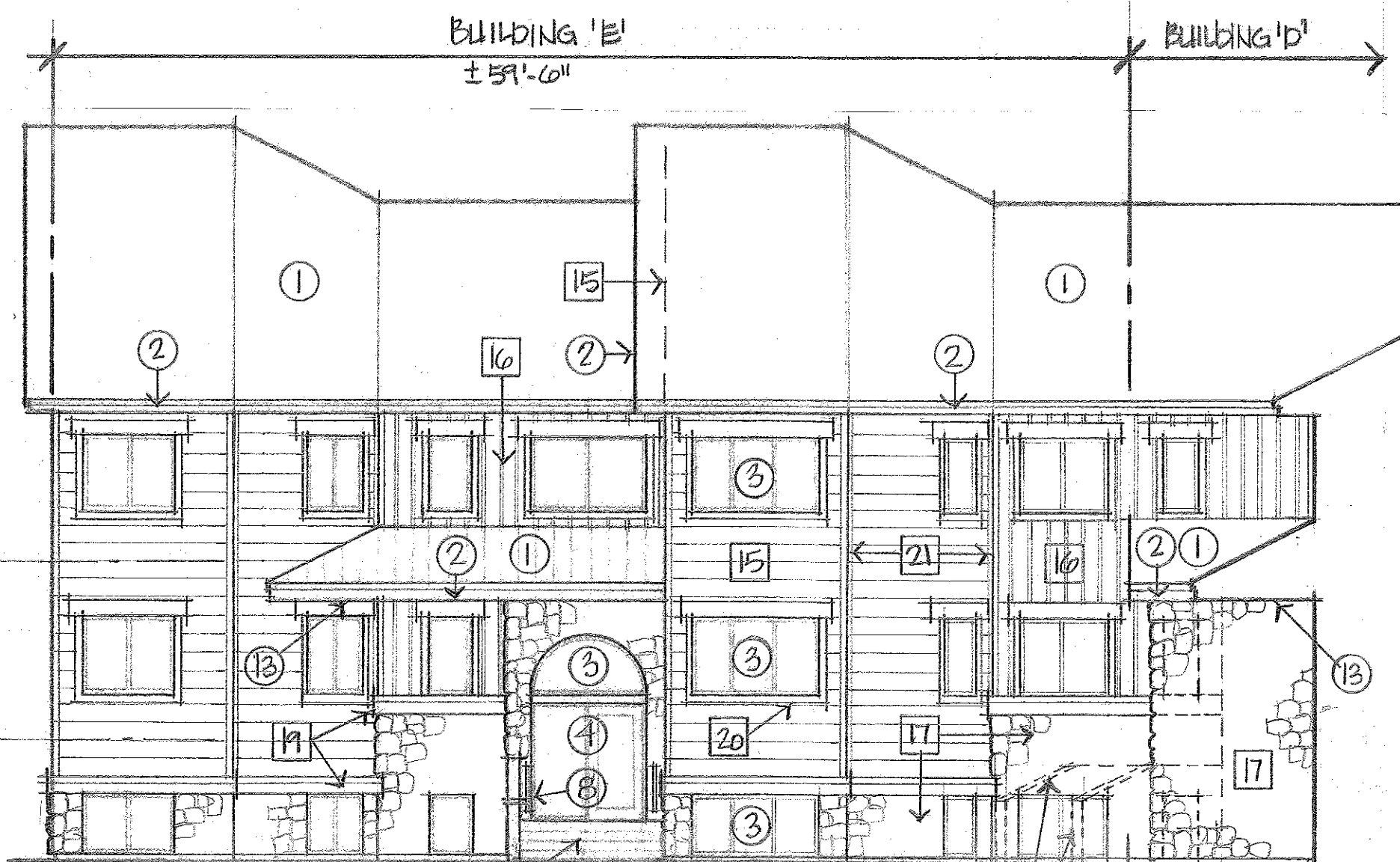
HALF WALL GUARDRAIL @ ENTRY STAIR REYOND (8) (9)



PROFILE PLAN - NEW WORK

1/8" = 1'-0"

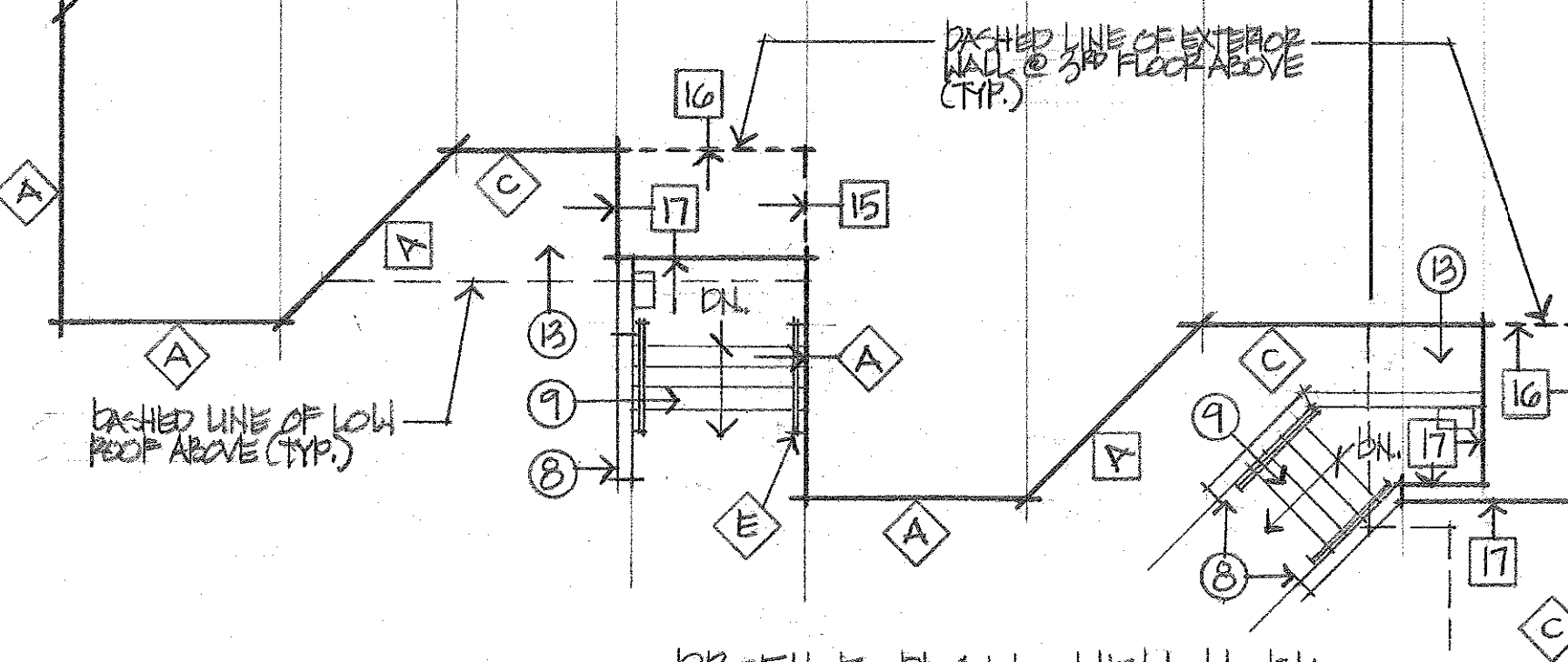
NOTE: SEE SHEET A-4 FOR PROFILE PLAN KEY NOTES



WEST ELEVATION - NEW WORK

1/8" = 1'-0"

DASHED LINES OF HALF WALL GUARDRAILS ENTRY STAIR IN REY- GROUND - SEE PROFILE PLAN BELOW



PROFILE PLAN - NEW WORK

1/8" = 1'-0"

KEY NOTES - NEW WORK:

- 1 Existing pre-finished standing seam metal roof
- 2 Existing wood fascia trim/soffit at gables & eaves - to be repainted
- 3 Existing pre-finished aluminum frame windows
- 4 Existing hollow metal entry door/sidelite/ frame - to be repainted (exterior side/edges)

- 8 Existing half wall/wood framed guardrail - wall mounted metal handrails to be replaced with new & new finish at wall per details on sheet A-9
- 9 Existing entry stairs - new metal plate cover over existing wood risers per detail on sheet A-9
- 10 Existing pre-finished aluminum frame unit deck sliding doors
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- 16 New vertical board & batten siding (also at exposed gable end walls above the roof where indicated)
- 17 New stone veneer (no trim at door & window openings)
- 18 New metal siding
- 19 New horizontal bandboard trim
- 20 New trim at door/window openings
- 21 New trim at corners (inside & outside)

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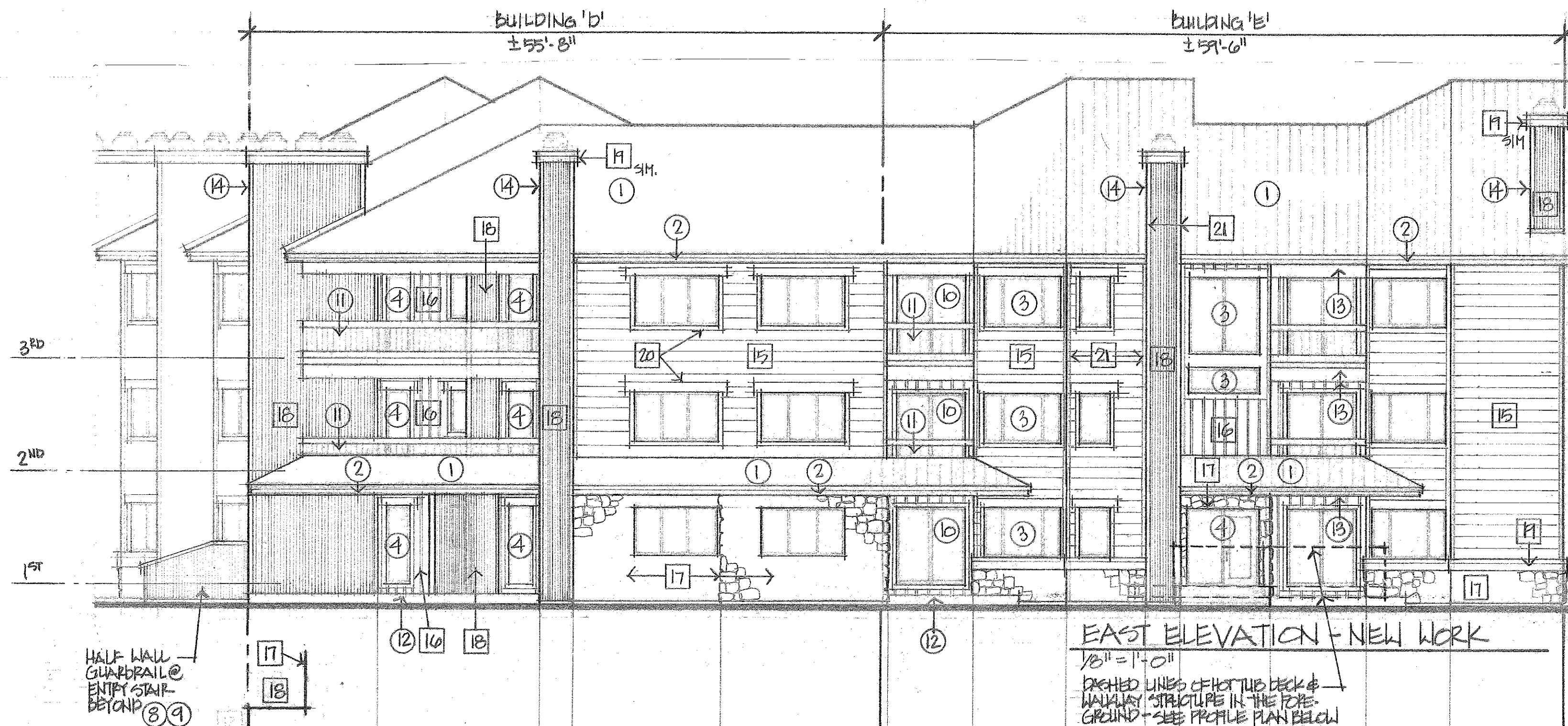
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1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

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JW
architecture, llc

Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net



NOTE: SEE SHEET A-4 FOR PROFILE PLAN KEY NOTES

KEY NOTES - NEW WORK:

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JW
architecture, llc

Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net

FROSTFIRE CONDOMINIUMS EXTERIOR FACELIFT

1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

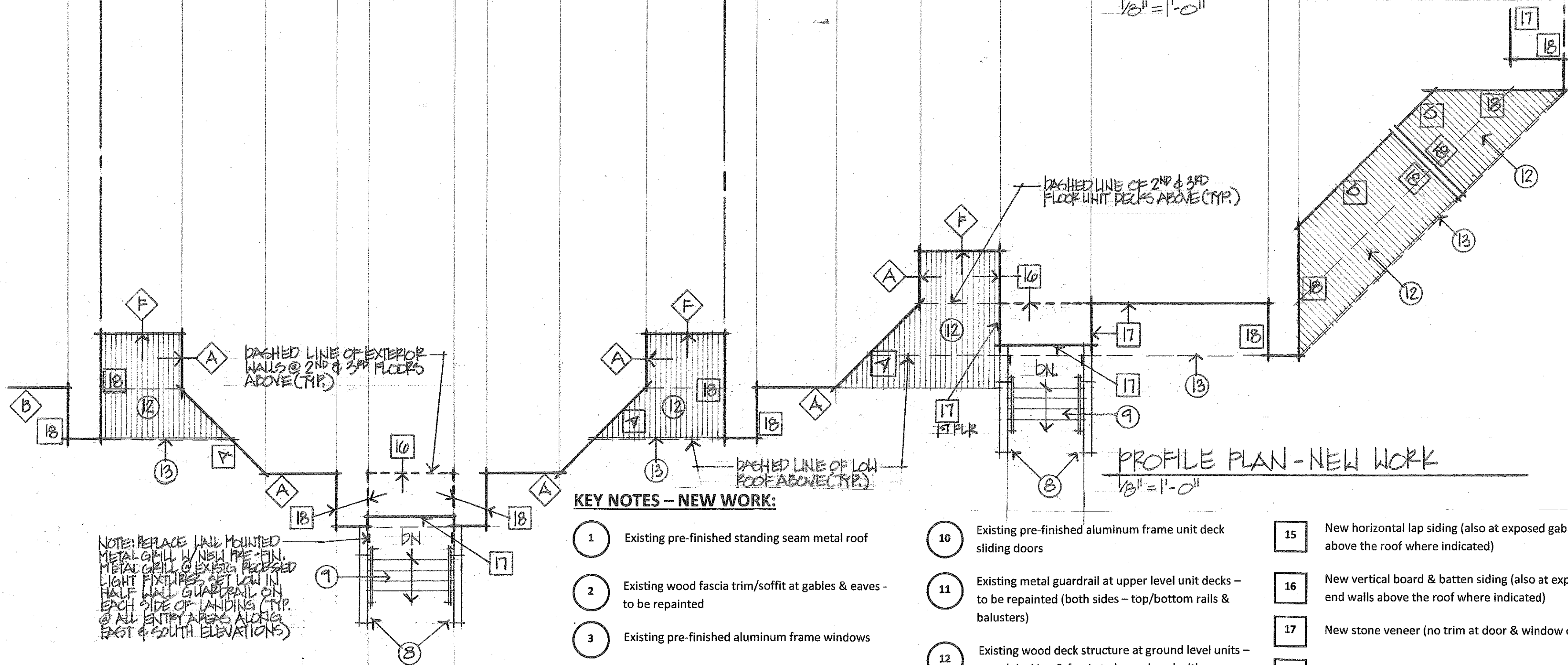
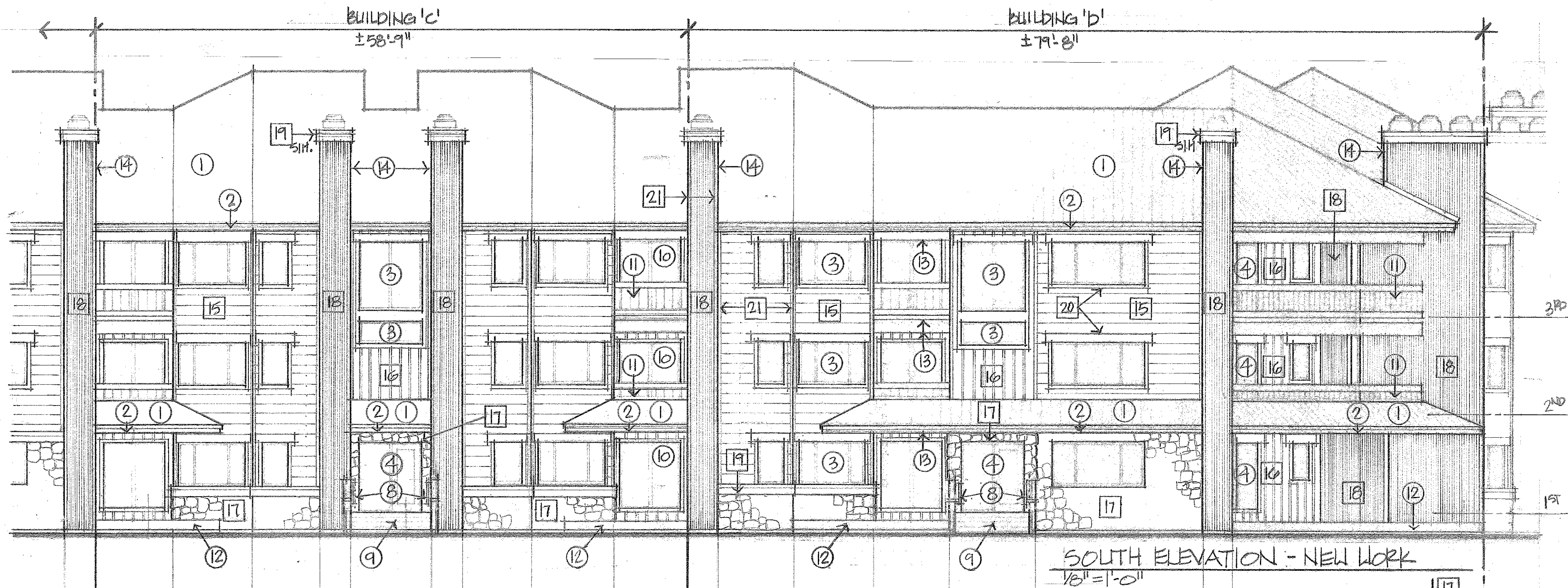
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KEY NOTES - NEW WORK:

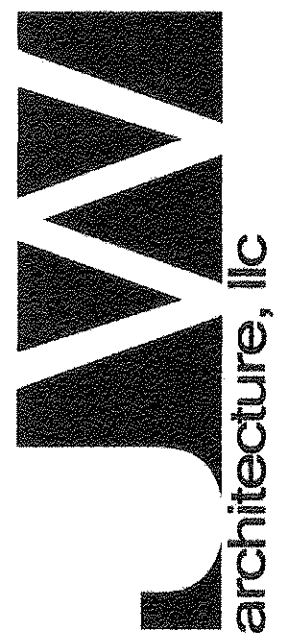
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- 20 New trim at door/window openings
- 21 New trim at corners (inside & outside)

NOTE: REPLACE WALL MOUNTED METAL GRILL W/ NEW PRE-FIN. METAL GRILL @ EXIST. RECESSED LIGHT FIXTURES. SET LOW IN HALF WALL GUARDRAIL ON EACH SIDE OF LANDING (TYP. @ ALL ENTRY AREAS ALONG EAST & SOUTH ELEVATIONS)

NOTE: SEE SHEET A-4 FOR PROFILE PLAN KEY NOTES



Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwaarchitecture.net

FROSTFIRE CONDOMINIUMS EXTERIOR FACELIFT

1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

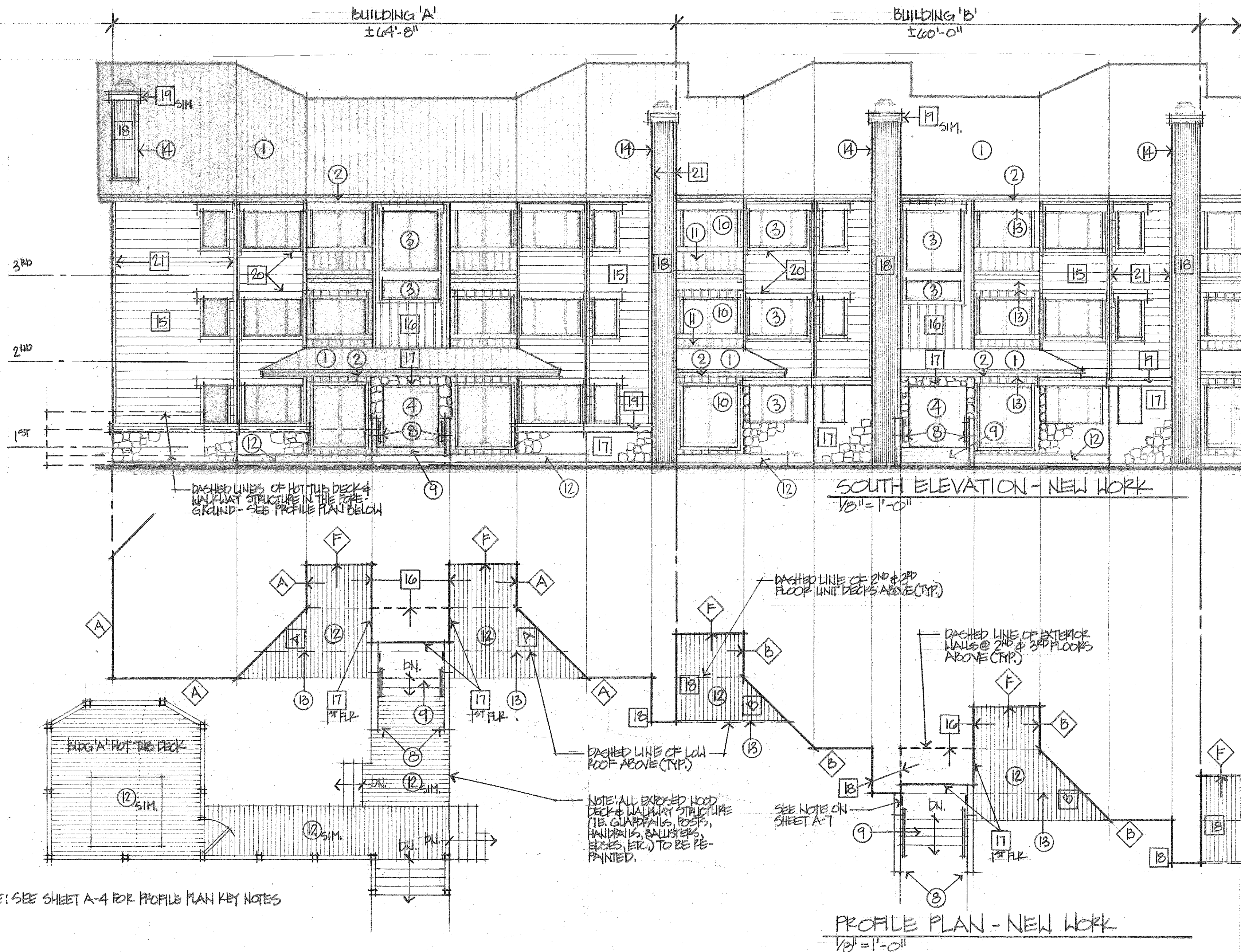
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A-7

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KEY NOTES - NEW WORK:

- 1 Existing pre-finished standing seam metal roof
- 2 Existing wood fascia trim/soffit at gables & eaves - to be repainted
- 3 Existing pre-finished aluminum frame windows
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- 21 New trim at corners (inside & outside)

JW
architecture, llc

Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net

FROSTFIRE CONDOMINIUMS EXTERIOR FACELIFT

1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

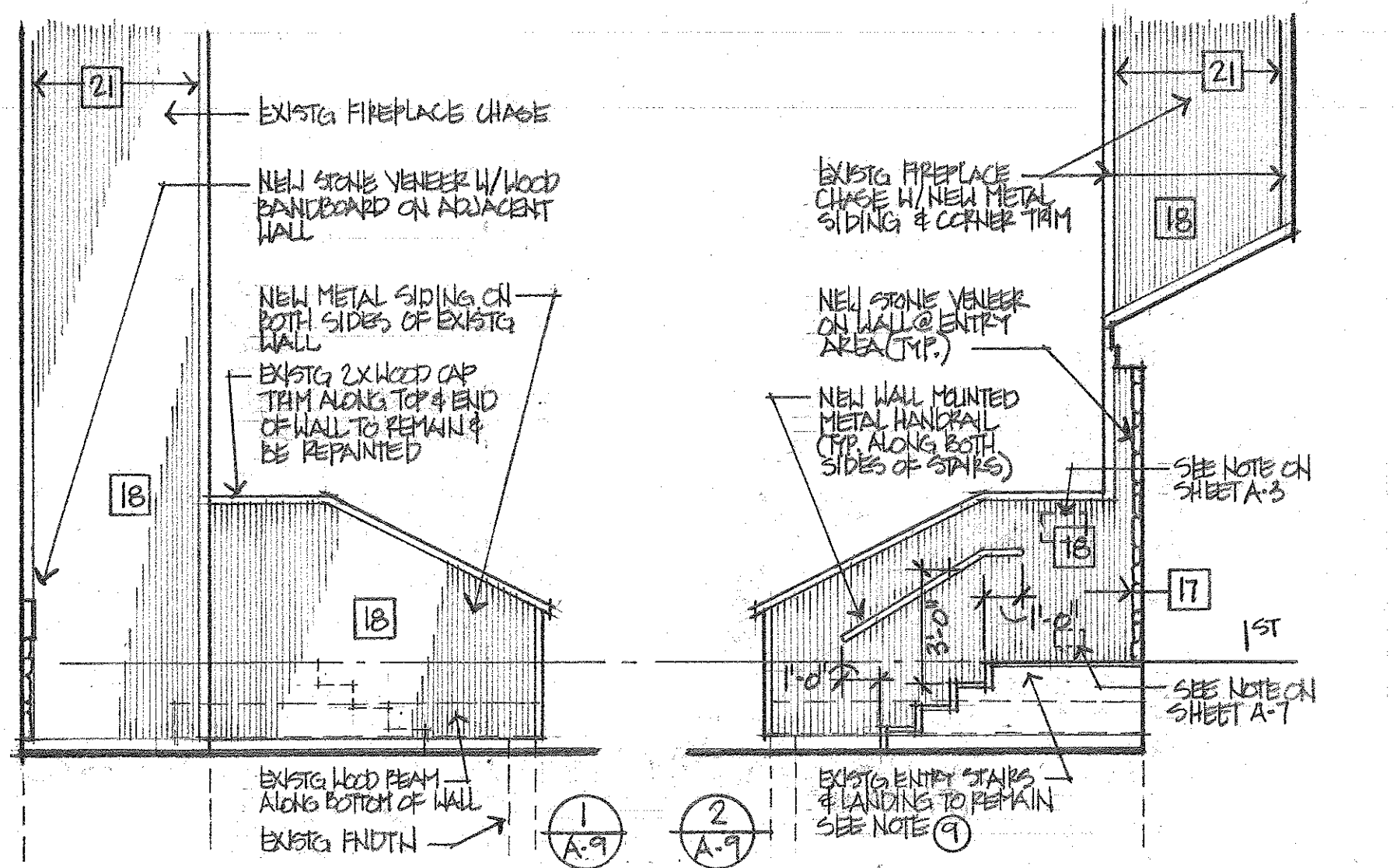
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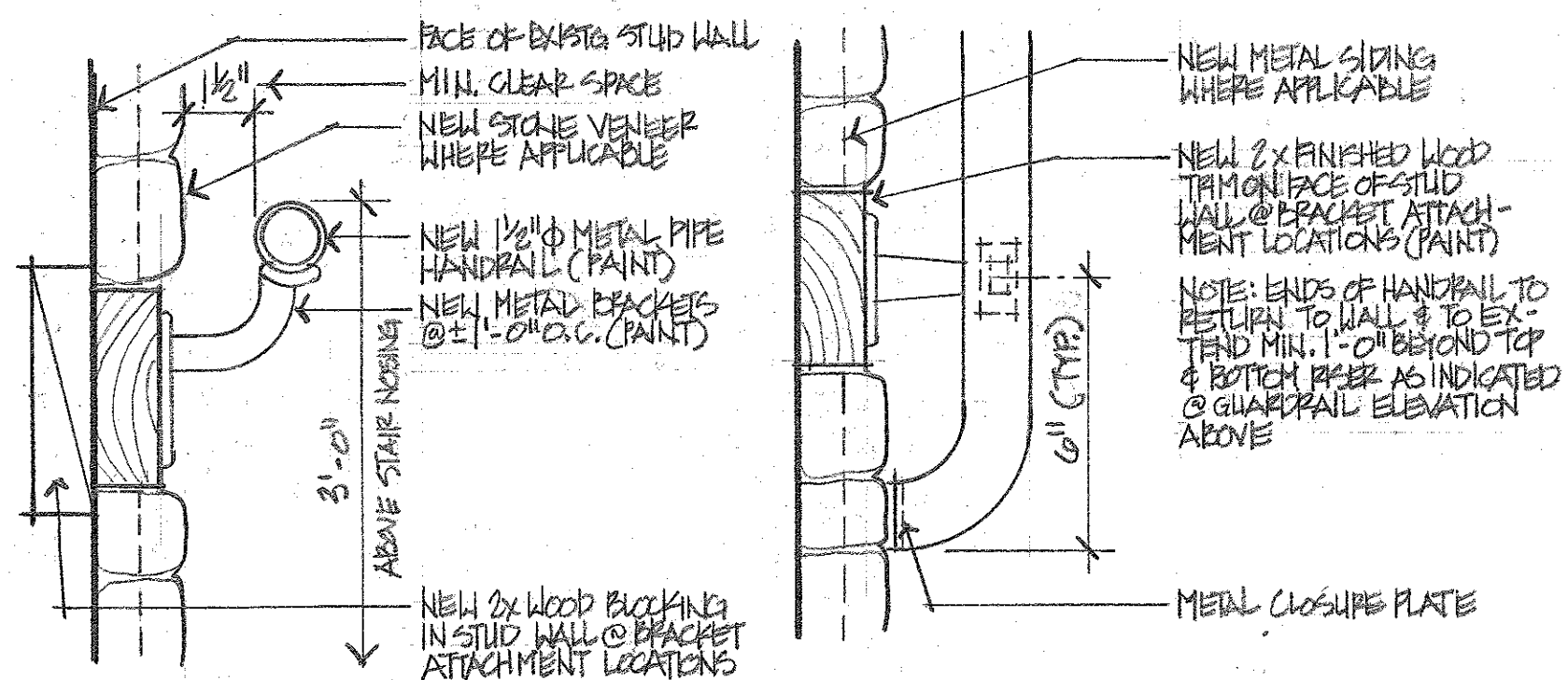
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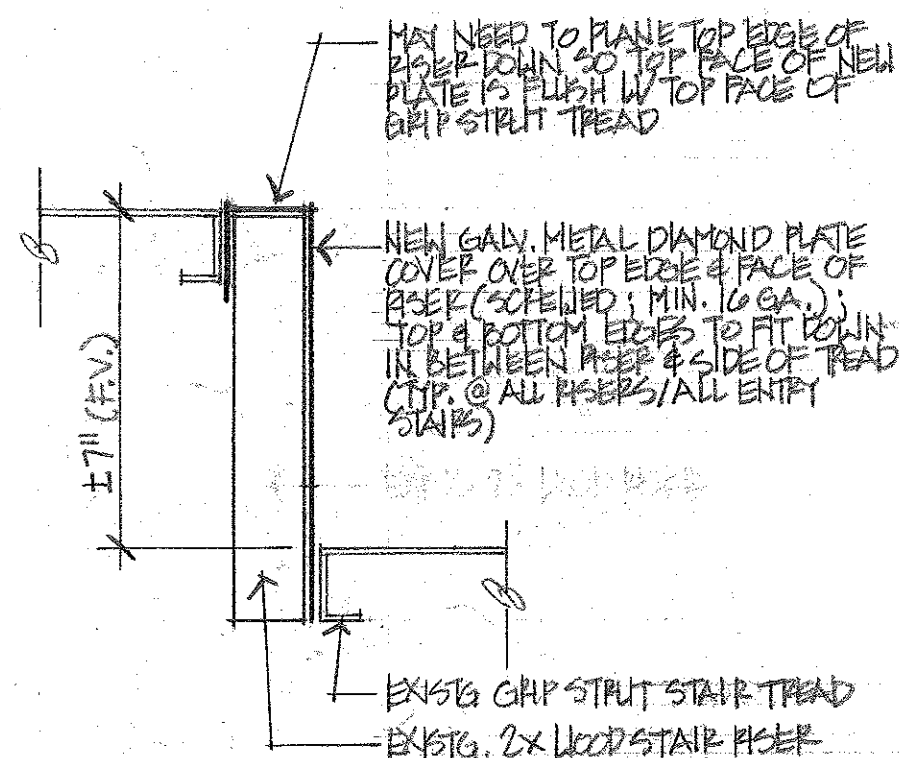
HALF WALL GUARDRAIL ELEVATIONS

1/4" = 1'-0" TYP. @ ENTRY STAIRS ALONG EAST & SOUTH BLDG. ELEVATIONS
SIM. @ ENTRY STAIRS ALONG NORTH & WEST BLDG. ELEVATIONS



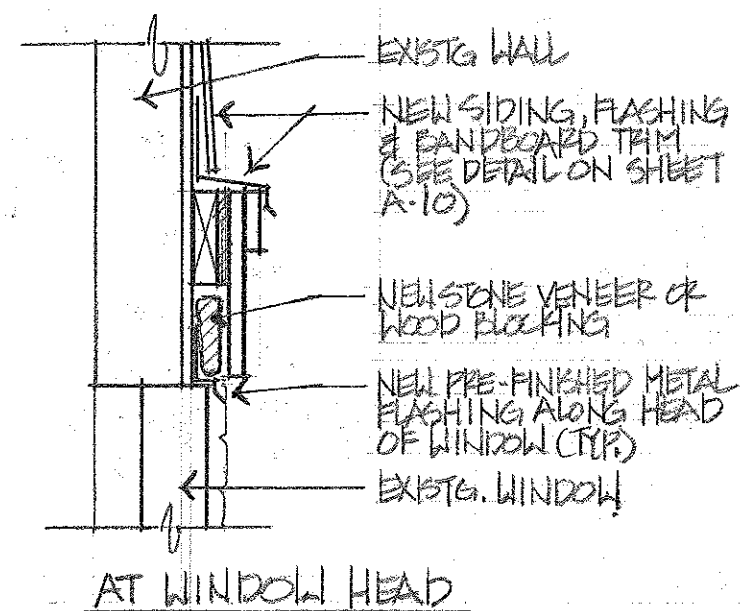
3 HANDRAIL DETAILS

A-9 3" = 1'-0"



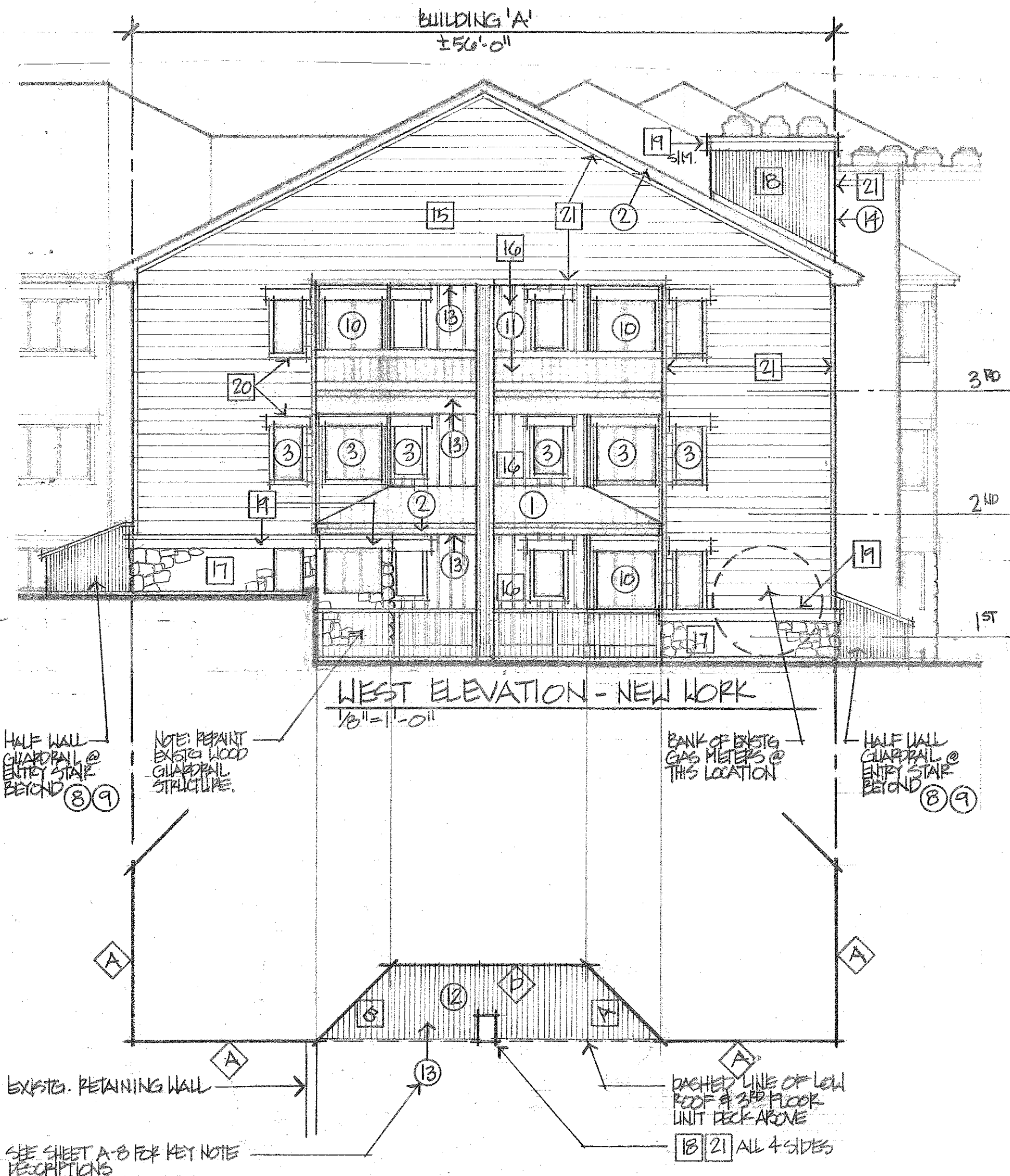
4 RISER DETAIL

A-9 3" = 1'-0"



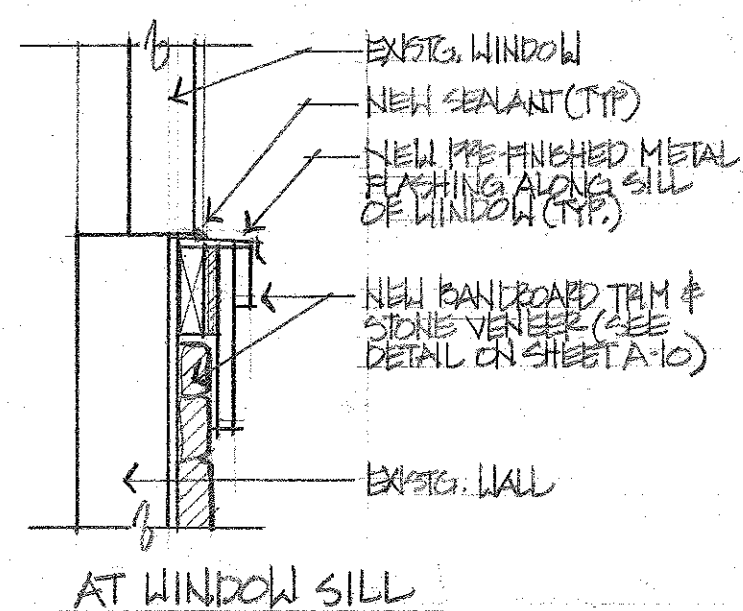
5 BANDBOARD TRIM DETAILS

A-9 1" = 1'-0"

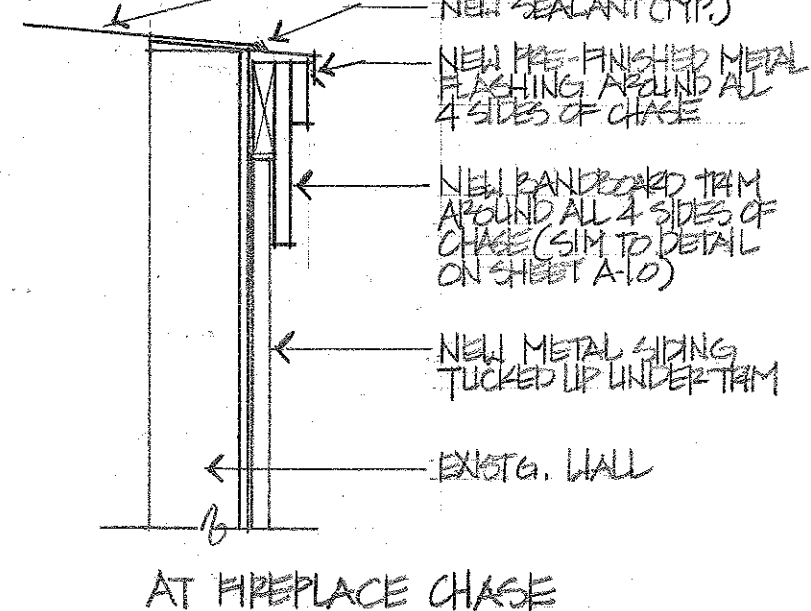


PROFILE PLAN - NEW WORK

1/8" = 1'-0"



AT WINDOW SILL



AT FIREPLACE CHASE

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SHEET

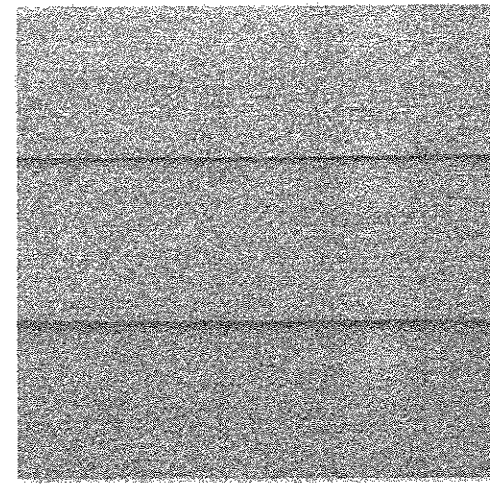
A-9

OF: 10

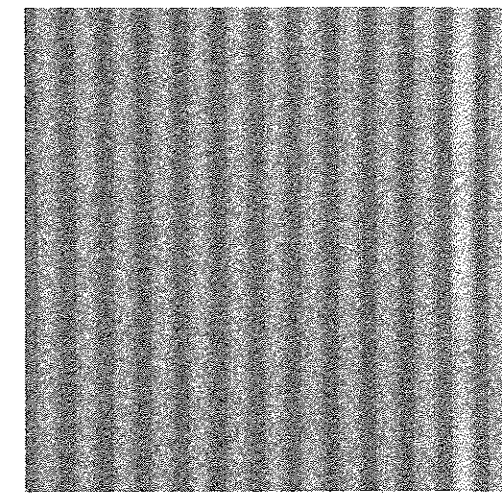
Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net

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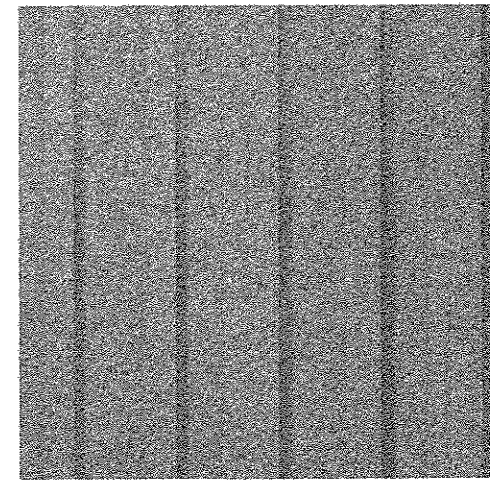
NEW MATERIAL DESCRIPTION



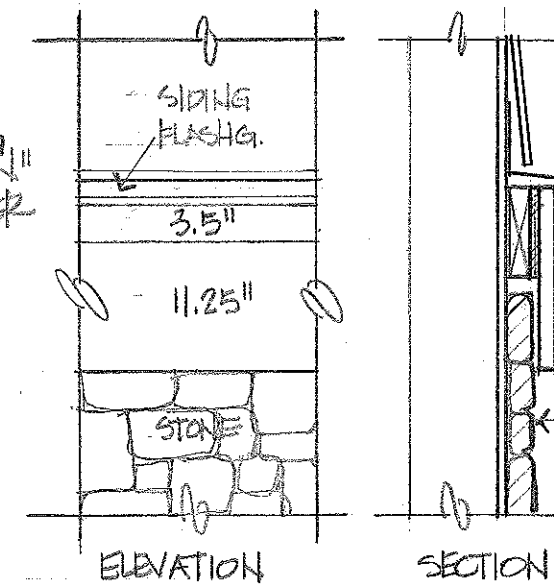
15
NEW HORIZONTAL LAP SIDING
SIMILAR TO JAMES HARDIE "SELECT CEDAR MILL LAP"
12" WIDTH; PRE-FIN. COLOR AS SELECTED BY OWNER



18
NEW METAL SIDING
SIMILAR TO METAL SALES "7/8" CORRUGATED"
FINISH AS SELECTED BY OWNER



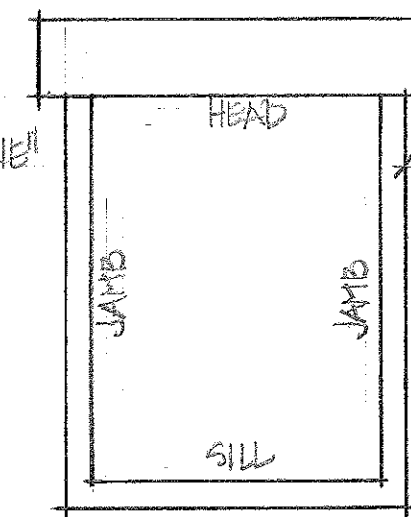
16
NEW VERTICAL BOARD & BATTEN SIDING
SIMILAR TO JAMES HARDIE "SHOOTH BOARD & BATTEN"
4x8 PANEL; PRE-FIN. COLOR AS SELECTED BY OWNER



19
NEW BANDBOARD TRIM
SIMILAR TO JAMES HARDIE "5/4 RUSTIC"
PRE-FINISHED METAL FLASHING
3.5" WIDTH
11.25" WIDTH ON WOOD BLOCKING
PRE-FIN. COLOR AS SELECTED BY OWNER
NEW STONE VENEER (SEE **17**) - TO BE
TUCKED UP UNDER TRIM



17
NEW STONE VENEER
SIMILAR TO ELIZABETH "SAN MARINO LIMESTONE"
COLOR AS SELECTED BY OWNER
(NO TRIM @ WINDOW OPENINGS)



20 **21**
NEW TRIM @ OPENINGS/CORNERS
SIMILAR TO JAMES HARDIE "5/4 PLSTIC"
3.5" WIDTH @ JAMBS/SILL/CORNERS
9.25" WIDTH @ HEAD
PRE-FIN. COLOR AS SELECTED BY OWNER

SPECIFICATION

- A. General scope of the work consists of upgrading the exterior appearance of the whole building, all sides & walls, as indicated on the drawings. The Existing Conditions (sheet A-2) provides a description of the current appearance/materials & is representative of the whole building. Specific scope of the work includes, but is not limited to, the following:
1. Remove all wood siding, trim & housewrap material down to the face of the existing sheathing. Repair and/or replace any portion of sheathing to match existing that's damaged due to the current demolition process, past moisture issues, etc. Prepare the surface of existing sheathing as required to receive new finishes.
 2. Install new housewrap material (similar to Tyvek) over the face of the sheathing on all sides & walls of the whole building. Provide new pre-finished metal flashing where indicated and/or necessary (color as selected by Owner).
 3. Prepare all existing materials to remain as required to receive new paint where indicated as new work & paint accordingly.
 4. Install new siding, trim & stone veneer where indicated as new work. To include all necessary attachments, fasteners & support as recommended by the manufacturer for proper installation in this application.
 5. Provide new exterior grade sealant along all joints & junctures of dissimilar materials (color as selected by Owner).
- The scope of new work is illustrated further on sheets A-3 thru A-9 with regard to description of the new appearance/materials.
- B. The scope of new work includes repainting all exterior sides/walls, doors & trim of the existing trash enclosure (located in the parking lot to the north), the storage building (located off the west end of Building 'A') & the transformer enclosure (located off the north end of Building 'E'). These are not shown in the drawings but their general location is depicted in the Building Key Plan (sheet A-1).

- C. The scope of new work includes repainting all exposed wood structure of the existing Building 'A' & Building 'E' hot tub decks/walkways and wood guardrail structure at west deck of Building 'A'. See notes on sheets A-6, A-8 & A-9.
- D. The scope of work includes removal/reinstallation of existing intercom boxes & key boxes located at each of the entry stair areas along the north & west building elevations. Contractor is to provide/install a new wall mounted metal electrical panel box with door in which the existing items can be reinstalled (see plans).
- E. The scope of work includes replacement of metal grill with new at existing recessed light fixtures set low in half wall guardrail on each side of landing at each of the entry areas along the east & south building elevations (see plans).
- F. Contractor to include an allowance of \$2,500 for providing/installing new exterior building signage to replace existing. Owner to select design, style, color & location.
- G. Contractor to include a unit cost per square foot (material & labor) of exterior gyp. sheathing for the purpose of monitoring replacement costs.
- H. Color of new materials & paints to be as selected by the Owner. Contractor to provide product information cut sheets & samples of all new materials & paints to the Architect for review & approval prior to ordering such material.

JW
architecture, llc

Jerry Westhoff, aia 29 audrey circle breckenridge, co. 80424
970.389.0492 jerry@jwarchitecture.net

**FROSTFIRE
CONDOMINIUMS
EXTERIOR FACELIFT**
1653 ORO GRANDE DRIVE
KEYSTONE, COLORADO

ISSUED FOR PRICING 11/4/15

SHEET

A-10

OF: 10

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