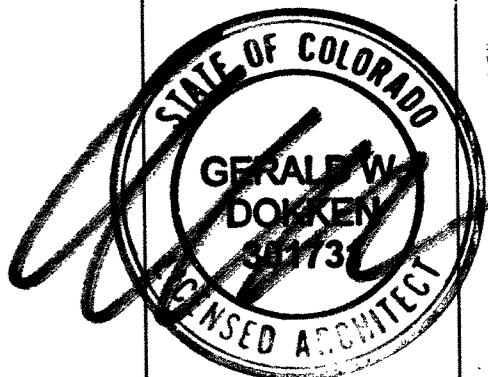


# DRAKE LANDING

## BUILDING B FRISCO, COLORADO

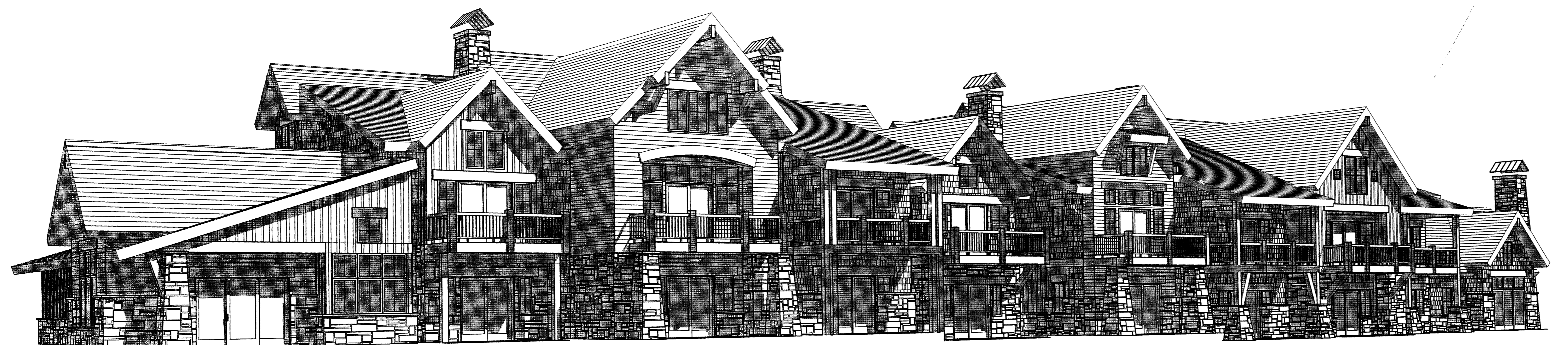
REVISIONS  
IBC Revisions  
11-18-02



11-18-02  
11-18-02  
11-18-02



VIEW FROM COMMUNITY OPEN SPACE



VIEW FROM LAKEPOINT DRIVE

### PROGRAM INFORMATION

Project Title:	Drake Landing Building B
Building Area:	
Main	10,052 sf
Upper	7,348 sf
Loft	3,644 sf
Total	21,044 sf
Type of Construction:	V B Fully Sprinklered (NFPA Type 13)
Occupancy:	R-2
Building Height:	3 stories (35' max)
Site Area:	3.35 Ac
Zoning:	Summit Blvd Architectural Overlay Zone

### LEGAL DESCRIPTION

Lot 4R, a resubdivision of Lot 2, Block 1, Lakepoint at Frisco, Town of Frisco Colorado.

### BUILDING DESCRIPTION

Multi-family residential 3-story wood and steel framed structure. One of six proposed buildings in the Drake Landing development project.

- EXTERIOR FINISHES**
- Cultured stone veneer
  - Wood siding
  - Wood trim
  - Timber framed accents
  - Vinyl windows
  - Composition shingle roofing

### PROJECT INDEX

Owner / Developer:	Silengo Development Mike Cuthbertson 970-668-4770
Architect:	Marketplace Architects Michael Shult 970-468-8583
Structural Engineer:	Boyle Engineering Inc. Tim Boyle 970-476-2170
Mech. Engineer:	Design / Build
Electrical Engineer:	Design / Build
Civil Engineer / Survey:	Range West Dave Clement 970-668-3716
Landscape Architecture:	Design Workshop Inc. Pedro Campos 970-476-8408
Geotechnical:	HP Geotech

### CODE REVIEW

Review Agency:	Frisco Bldg Department
Building Code:	IBC 2000
Construction:	Type V B Fully Sprinklered (NFPA Type 13)
Occupancy:	R-2
Basic Allowable:	7,000 sf
Frontage:	5,250 sf (75% increase)
Sprinklers:	14,000 sf (200% increase)
Total Allowable:	26,250 sf
Proposed:	
Main	10,052 sf
Upper	7,348 sf
Loft	3,644 sf
Total Proposed:	21,044 sf

- Notes:**
- Dwelling Unit Separation Walls shall comply with requirements for Fire Partitions (IBC sec 708). Separation walls shall run full height from the floor to the underside of the roof deck or the fire-resistance rated floor/ceiling assembly above.
  - Floors separating dwelling units shall comply with requirements for Horizontal Assemblies (IBC sec 710).
  - Supporting construction of FR assemblies shall have the same rating as the assembly (fire partitions (dwelling unit sep. walls) 30 min FR (IBC 708.1 and 708.3) horizontal assemblies 30 min FR (IBC 710.3 and 710.4)).
  - Automatic sprinkler system installation allows the following: Increase in allowable height for R-2 occ from 2 story to 3 story (IBC 504.2).
  - Fire resistive exterior walls need to be rated for exposure to fire from the inside only. (IBC 704.5)

### SERVICES

Gas	Public Service
Electric	Public Service
Sewer	Town of Frisco
Water	Town of Frisco
Security	
Refuse	Waste Management
TV Cable	AT&T

### DRAWING INDEX

Note: A, C, & L sheets are part of the Master Set for Drake Landing

#### General Information

- A-1 Site Plan
- Civil
- C-1 Existing Conditions
- C-2 Grading and Drainage
- C-3 Water Supply and Sewage Collection

#### Landscape

- L-1 Landscape Plan
- L-2 Traffic Circulation Plan
- L-3 Snow Storage Plan
- L-4 Lighting and Signage Plan
- L-5 Construction Staging Plan

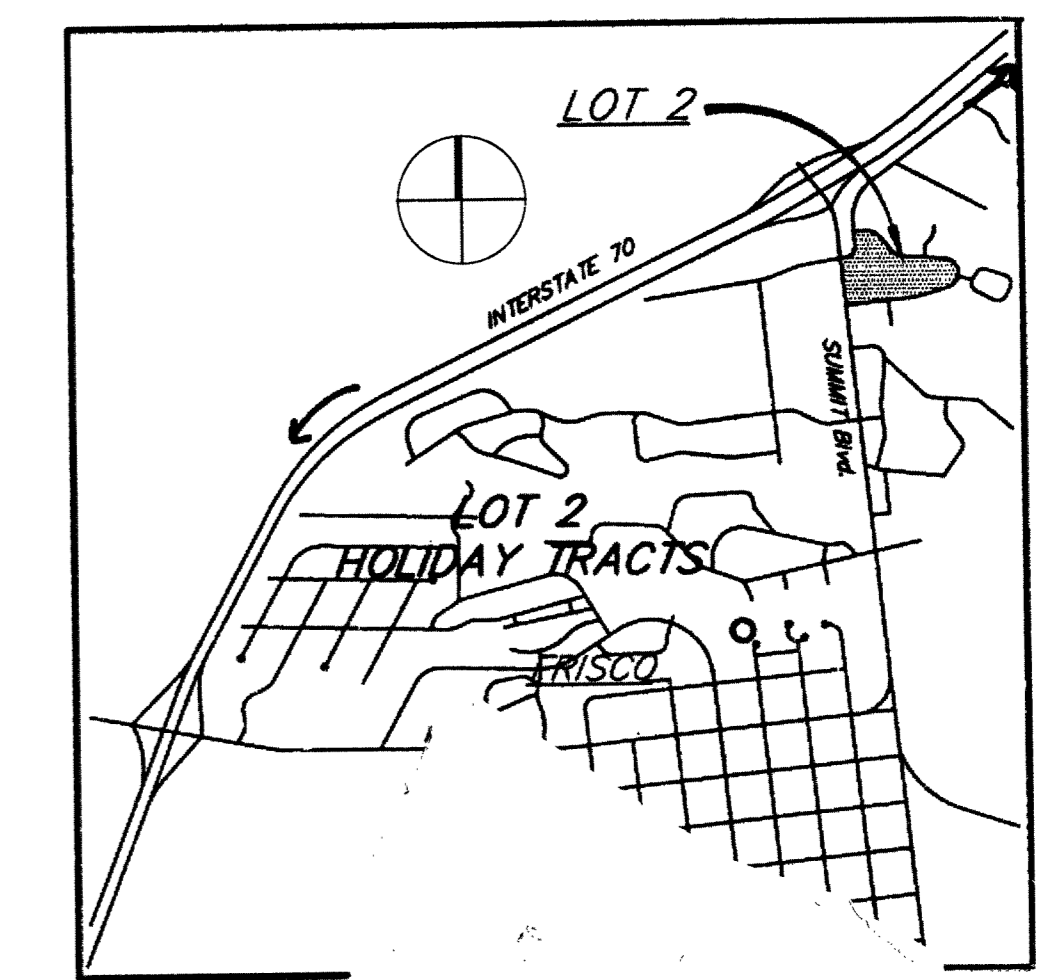
#### Architectural

- A2.1 Main Floor Plan
- A2.2 Main Floor Plan
- A2.3 Upper Floor Plan
- A2.4 Upper Floor Plan
- A2.5 Loft Floor Plan
- A2.3 Loft Floor Plan
- A2.4 Roof Plan
- A2.5 Roof Plan
- A3.1 Building Elevations
- A3.2 Building Elevations
- A3.3 Building Elevations
- A4.1 Building Sections
- A4.2 Building Sections
- A4.3 Building Sections
- A4.4 Building Sections
- AD.1 Architectural Details
- AD.2 Architectural Details
- AD.3 Architectural Details (Fire-Resistive)
- AD.4 Architectural Details (Accessibility)

#### Structural

- S1 Foundation Plan
- S2 Foundation Plan
- S3 Main Floor Framing Plan
- S4 Main Floor Framing Plan
- S5 Upper Floor and Low Roof Framing
- S6 Upper Floor and Low Roof Framing
- S7 Loft Level and Low Roof Framing
- S8 Loft Level and Low Roof Framing
- S9 High Roof Framing Plan
- S10 High Roof Framing Plan
- S11 Structural Details

### VICINITY MAP



### GENERAL NOTES:

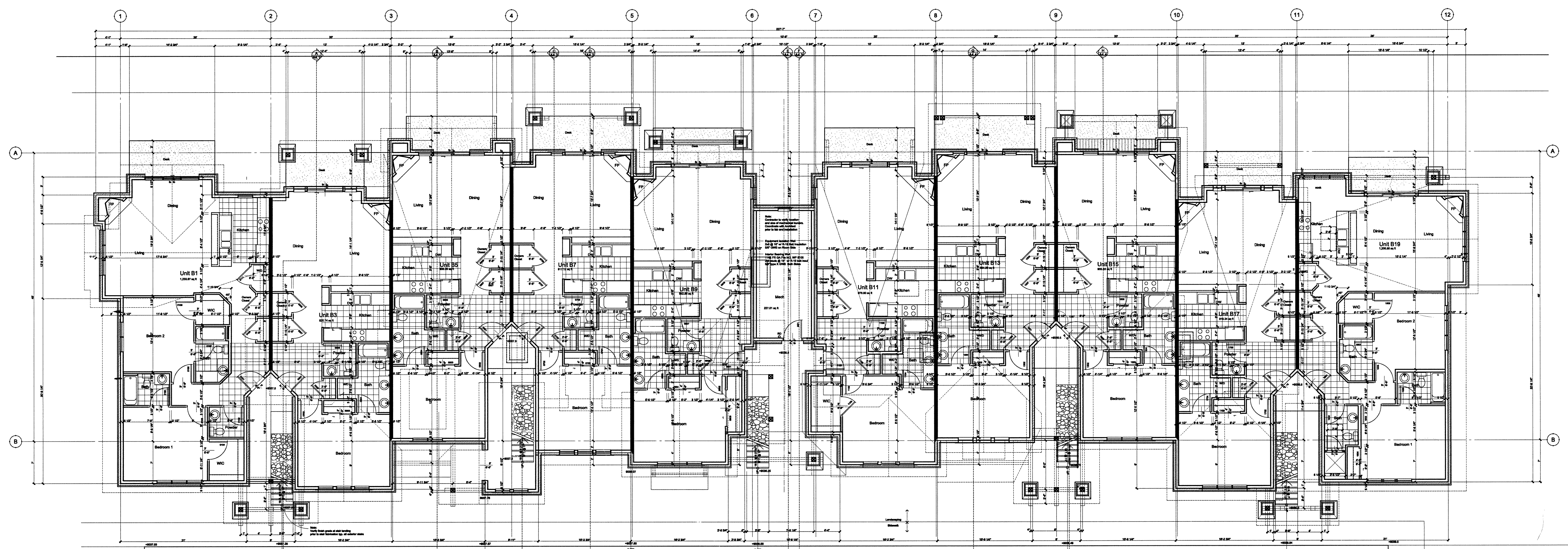
- ALL RIGHTS RESERVED. The arrangements, designs, details and concepts depicted herein are the sole property of Marketplace Architects LLC and may not be reproduced in any form without its written consent.
- These construction documents do not purport to show all construction details. If additional guidance is necessary, the Contractor shall immediately notify the Architect. Failure to give notice shall relieve the Architect of responsibility. Do not proceed if the documents are in conflict or questions arise. Consult the Architect.
- These drawings do not include aspects of construction safety. The Contractor shall maintain the site in an orderly and safe condition. All safety and protection for people and properties, shall be in compliance with state and federal safety regulations are the sole responsibility of the General Contractor.
- The General Contractor and Subcontractors are responsible for satisfying all applicable codes and obtaining required permits and approvals. The Contractor shall arrange for all inspections and notify the Owner of their time. This project is governed by the International Building Code, 2000 edition including local Amendments. The drawings and specifications shall not permit work that does not conform to these codes. These drawings require the Contractor and each Subcontractor to provide all labor, materials, transportation, supplies, equipment, etc., to complete the work within the industry or trade standards.
- The Contractor shall be familiar and comply with the directives for the subdivision covenants.
- The Contractor shall verify all existing conditions and notify the Architect when there is a conflict between the contract documents and the existing conditions.
- The Contractor shall verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. The Contractor is responsible for notifying utilities for field locations in compliance with Colorado State Senate Bill 172, Paragraph 9-1.5-103.
- By contractual arrangement, upon completion of the excavation the Owner shall retain a soils engineer to inspect the subsurface conditions to determine adequacy of foundation design. The Contractor shall coordinate the soils inspection before footing form work is placed.
- Any errors, omissions, or conflicts found in the various parts of the construction documents shall be brought to the attention of the Architect and the Owner before proceeding with the Work.
- Substitution of "equal" products is acceptable with the Architect's verbal consent, followed by his written consent. Unique specified items are intended as a quality specification and may be substituted with written consent.
- The Contractor shall prepare and submit shop drawings or samples as may be necessary to describe completely the details and construction of the Work.
- All materials and equipment are to be installed per manufacturers printed instructions. The Subcontractors shall deliver to the Owner copies of installation and operation instructions of all devices and equipment that arrived packaged with the equipment.
- All materials are to be new and are to be protected on the jobsite before and during installation.
- Verify all Architectural details with the structural, mechanical and electrical drawings before the ordering of, or installation of any item of work.
- The General Contractor and Subcontractors shall field-coordinate their work. They shall obtain approval from the Structural Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural design.
- Before holes are drilled through structural members for trade access, drilling shall be verified by the Architect. Refer the International Building Code for additional requirements.
- Due to winter conditions, roof and deck surfaces must be maintained free of ice and snow to ensure the construction integrity of roof assembly during construction.
- Building areas are shown for code purposes only

### STANDARD ABBREVIATIONS

AFB	ABOVE FINISHED FLOOR	DW	DISHWASHER
AFG	ABOVE FINISHED GRADE	EJ	EXPANSION JOINT
ACoust	ACOUSTICAL	EA	EACH
ADJ	ADJUSTABLE	EL	ELEVATION
AGG	AGGREGATE	EL	ELECTRICAL
ALT	ALTERNATE	ENC	ENCLOSURE
ALUMA	ALUMINUM	EQ	EQUAL
AB	ANCHOR BOLT	EQUIP	EQUIPMENT
APPRX	APPROXIMATE	EQUIV	EQUIVALENT
ARCH	ARCHITECT (URAL)	EXIST	EXISTING
ASPH	ASPHALT	EXP	EXPANSION
BM	BEAM	EXP BOLT	EXPANSION BOLT
BRG	BEARING	EXP JT	EXPANSION JOINT
BLK	BLOCK	EXT	EXTERIOR
BLKG	BLOCKING	FD	FLOOR DRAIN
BD	BOARD	FP	FIREPLACE
BOT	BOTTOM	FDN	FOUNDATION
BO	BOTTOM OF	FIN	FINISH
BLDG	BUILDING	FLR	FLOOR
CANT	CANTILEVER	FLUOR	FLUORESCENT
CAB	CABINET	FT	FOOT
CPT	CARPET	FTG	FOOTING
CLG	CEILING	FPFH	FROST PROOF HOSE BIB
CT	CERAMIC TILE	FUR	FURRED
CIR	CIRCLE	GA	GALVANIZED
CLR	CLEAR (ANCE)	GEN	GENERAL
COL	COLUMN	GC	GENERAL CONTRACT (OR)
CONC	CONCRETE	GL	GLASS
CMU	CONCRETE MASONRY UNIT		
CONST	CONSTRUCTION		
CONT	CONTINUOUS		
CONTR	CONTRACT		
CJ	CONTROL JOINT		
DEL	DELETE		
DEMO	DEMOLITION		
DTL	DETAIL		
DIA	DIAMETER		
DIM	DIMENSION		
DPR	DISPENSER		
DR	DOOR		
DBL	DOUBLE		
DF	DOUGLAS FIR		
DN	DOWN		
DS	DOWNSPOUT		
DWG	DRAWING		

DRAKE LANDING  
BUILDING B  
Frisco, Colorado

DATE:	11-18-02
SCALE:	
DRAWN BY:	MS
JOB NO.:	2001
SHEET:	T.B



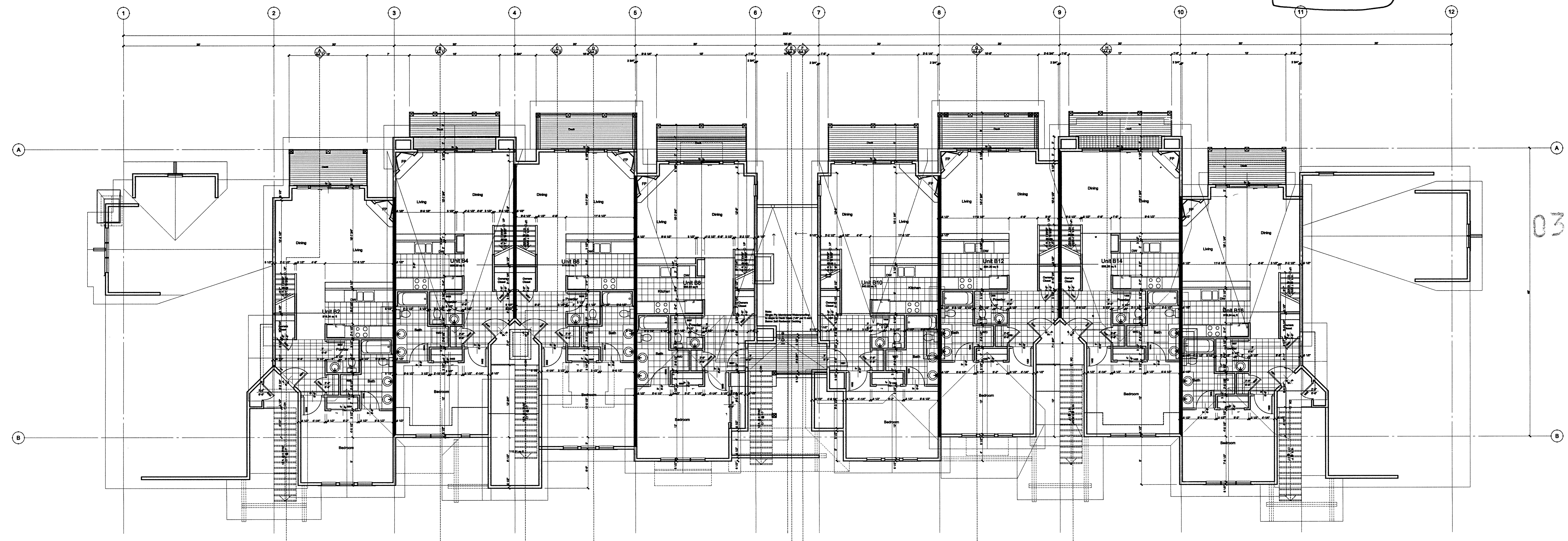
**WALL LEGEND**

- Exterior Wall
- Interior Wall
- Party Wall
- Interior Partition (Non-bearing)
- Interior Partition
- Interior Quarter

**WALL LEGEND**

- Exterior Wall
- Interior Wall
- Party Wall
- Interior Partition (Non-bearing)
- Interior Partition
- Interior Quarter

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**WALL LEGEND**

- Exterior Wall
- Interior Wall
- Party Wall
- Interior Partition (Non-bearing)
- Interior Partition
- Interior Quarter

**WALL LEGEND**

- Exterior Wall
- Interior Wall
- Party Wall
- Interior Partition (Non-bearing)
- Interior Partition
- Interior Quarter

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

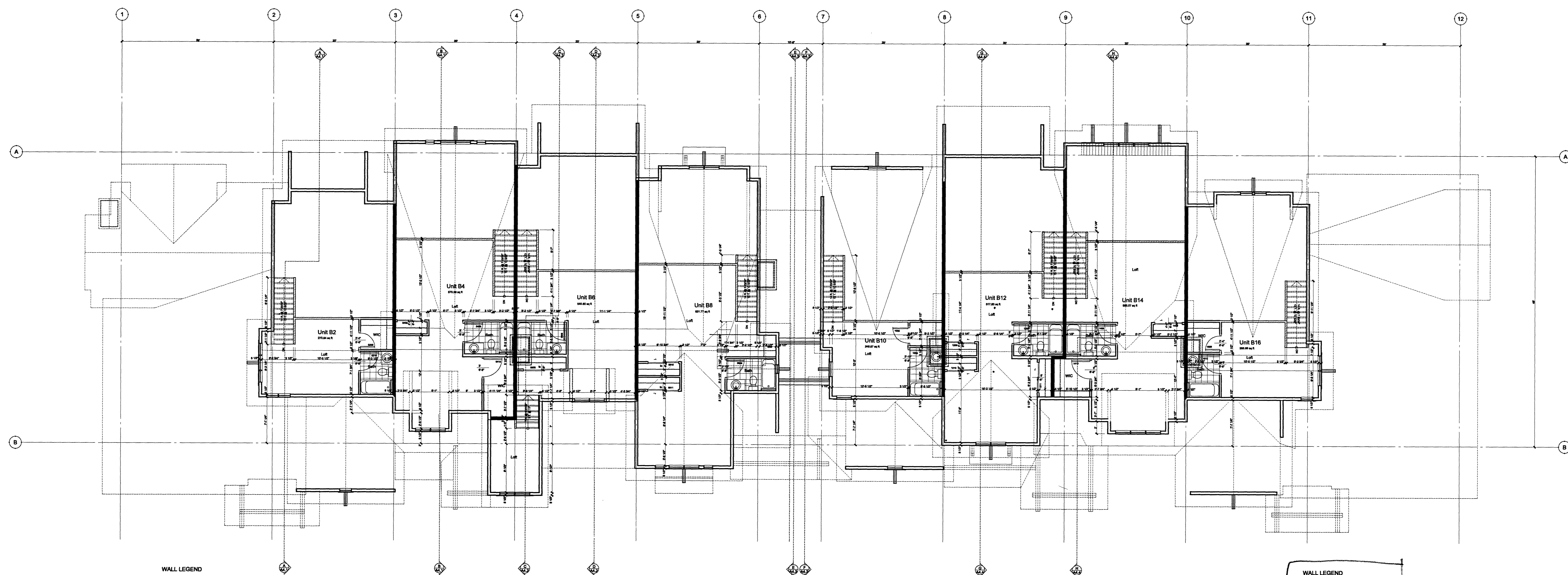
03-016

REVISIONS  
11-18-02

**MARKETPLACE ARCHITECTS**  
707 East Annapole Trail  
PO Box 6318 Dillon, CO 80435  
970.466.8159 Fax 970.282.2565  
architect@colorado.com

**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE: 11-18-02  
SCALE:  
DRAWN BY: MS  
JOB NO.: 2001  
SHEET: A0.1



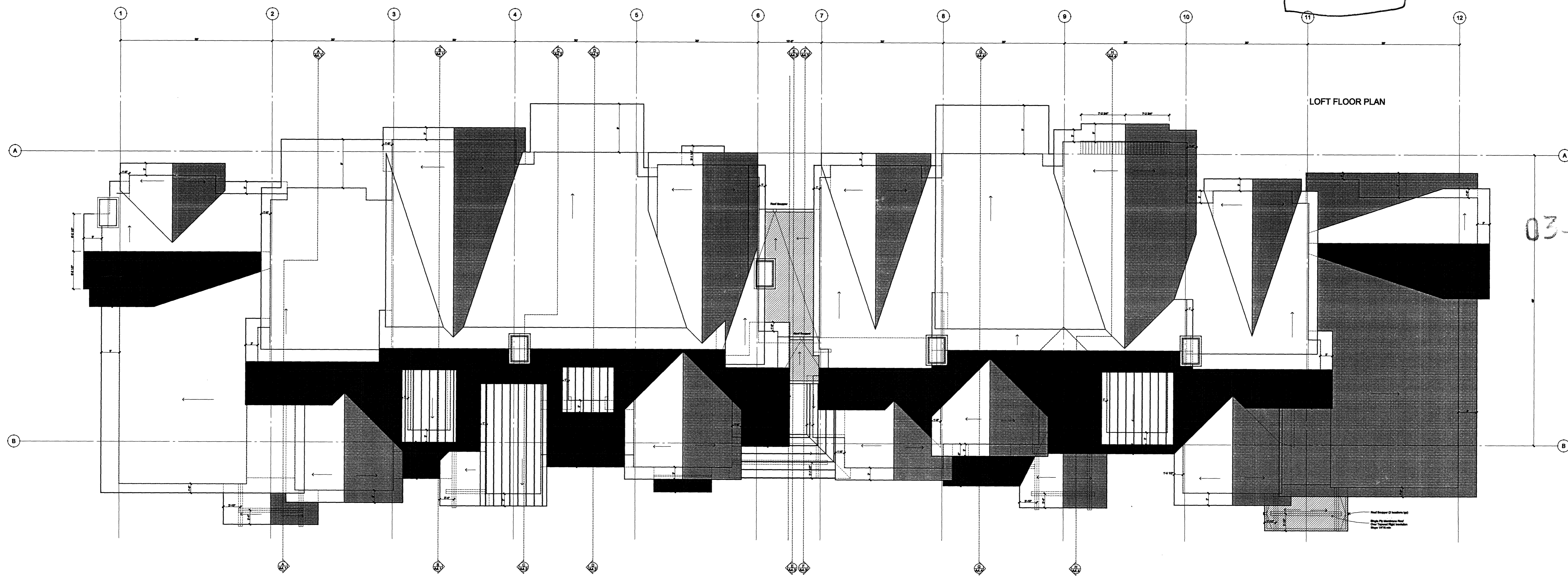
**WALL LEGEND**

- Exterior Wall
- Party Wall
- Interior Partition (Non-bearing)
- Interior Partition (Bearing)
- Interior Glasswall

**WALL LEGEND**

- Exterior Wall
- Party Wall
- Interior Partition (Non-bearing)
- Interior Glasswall

**LOFT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



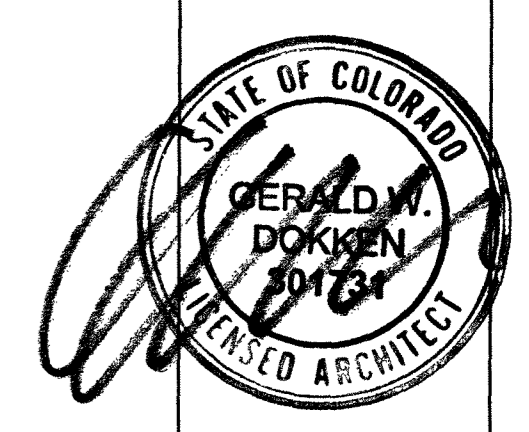
LOFT FLOOR PLAN

03-016

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

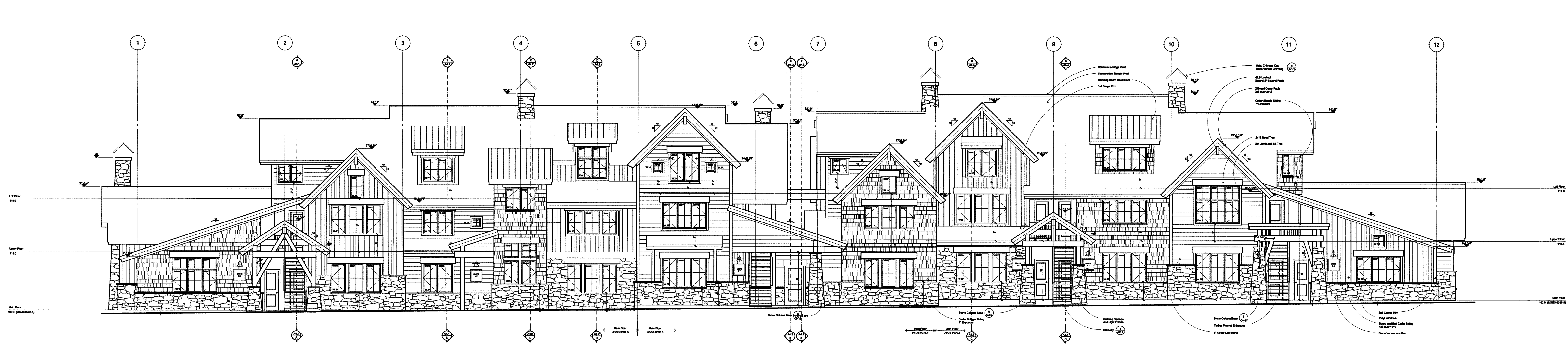
REVISIONS	
11-18-02	

**MARKETPLACE ARCHITECTS**  
L L C  
707 East Arapahoe Trail  
PO Box 8718, Denver, CO 80202  
303.448.8583 Fax 303.448.2585  
architect@colorado.net

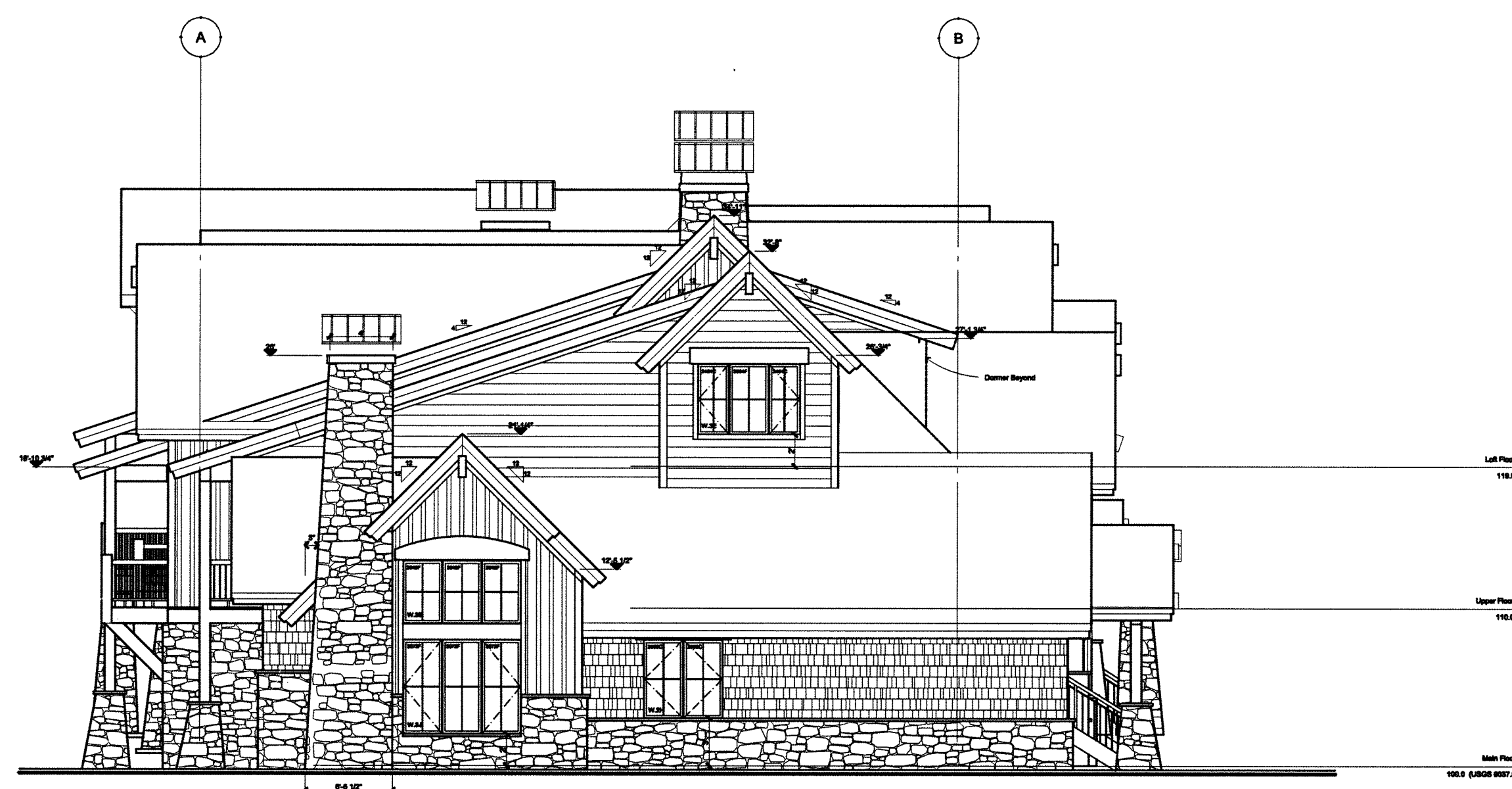


**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

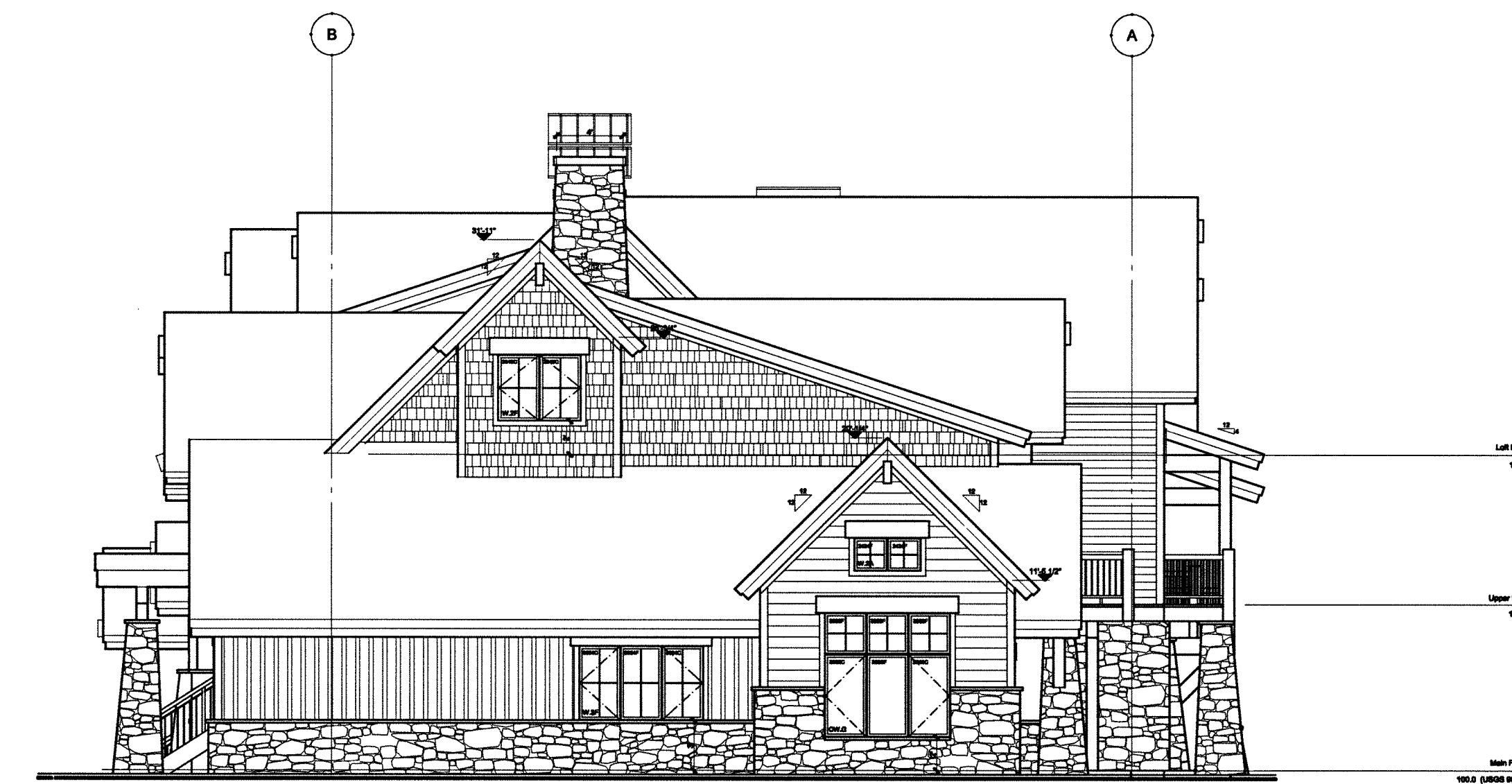
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SHEET	A0.2



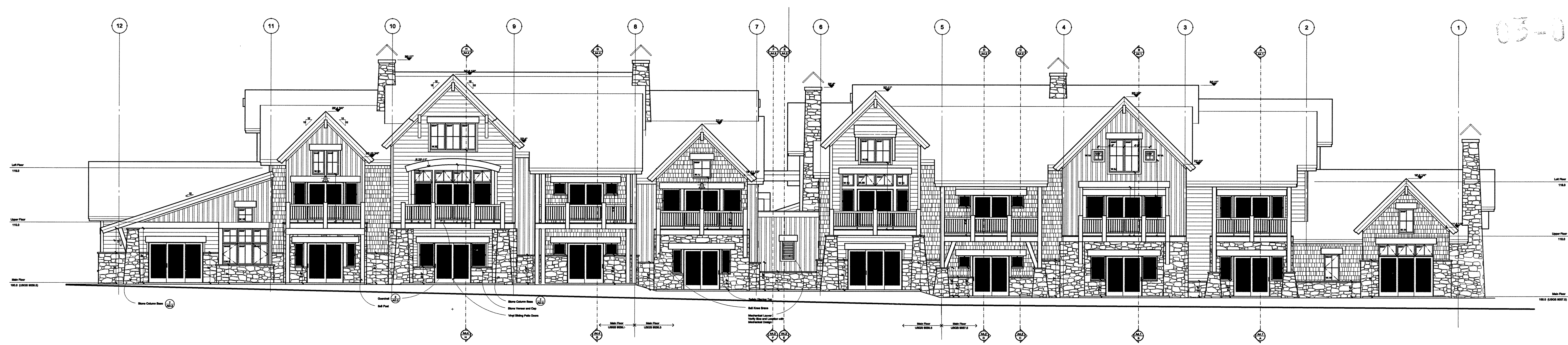
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



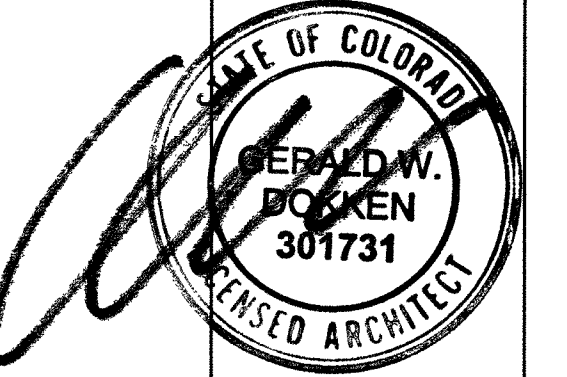
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



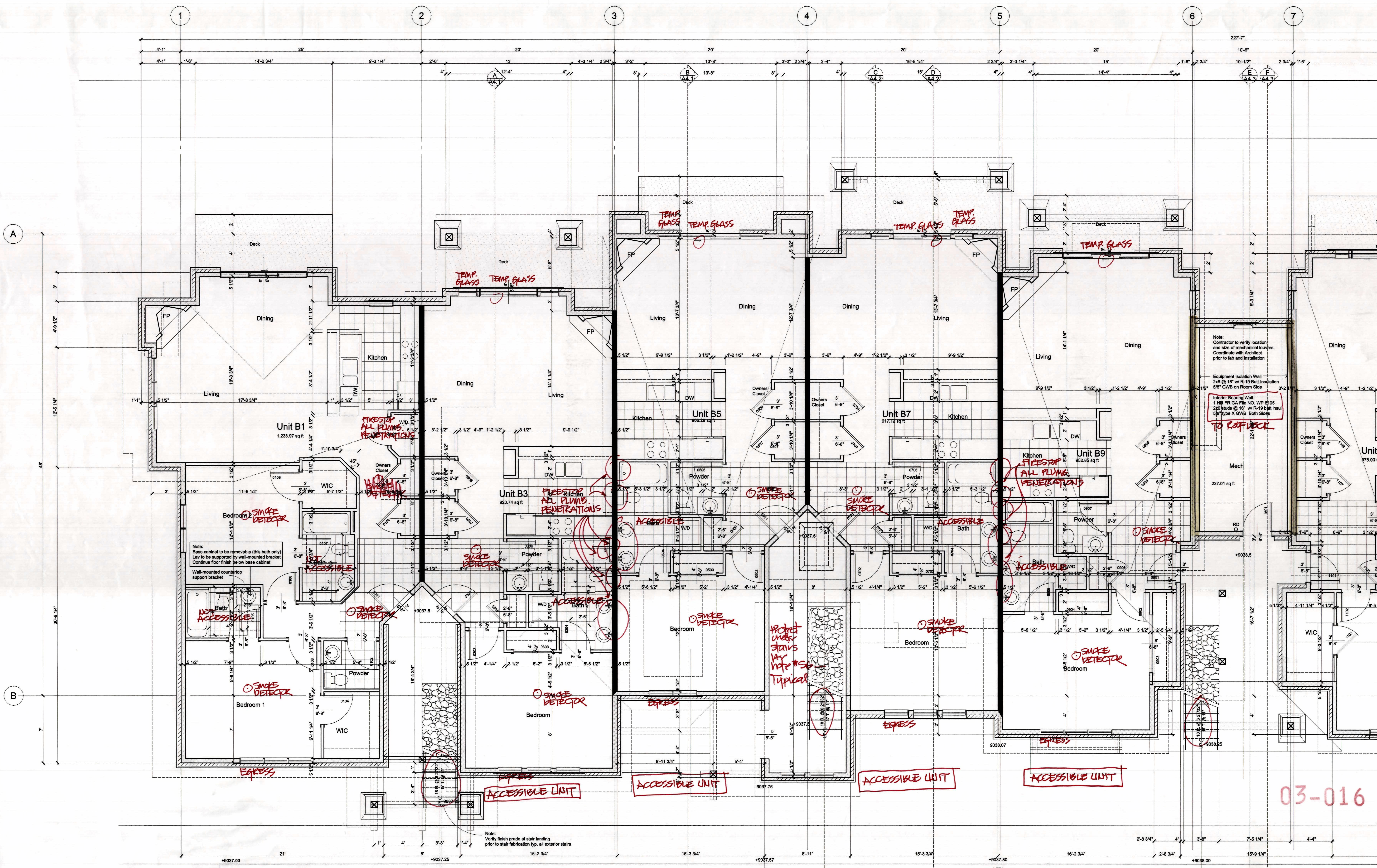
**MARKETPLACE ARCHITECTS**  
L  
C  
707 East Anderson Trail  
PO Box 6318, Dillon, CO 80431  
970.468.8183 Fax 970.262.0545  
arch@marketplace-nc.com

**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE: 11-18-02  
SCALE:  
DRAWN BY: MS  
JOB NO.: 2001  
SHEET:

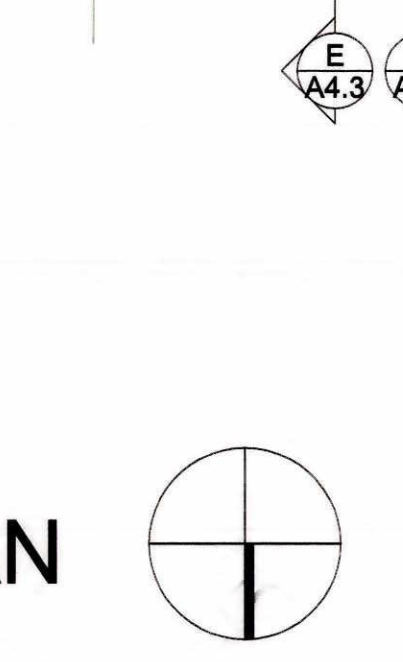
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03-016



**WALL LEGEND**

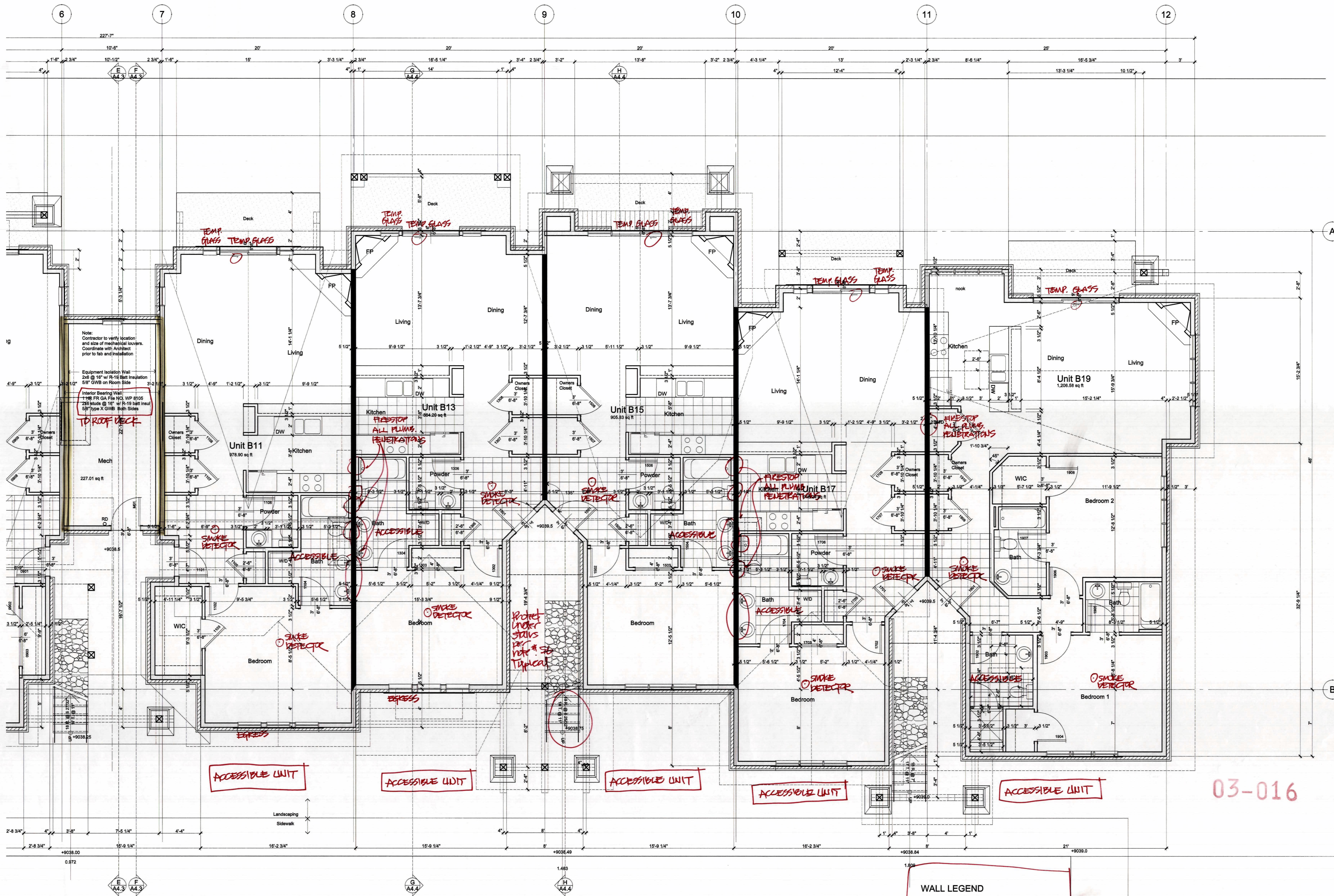
	<b>Exterior Wall</b> 1 HR FR GA File NO. WP 8105 Exterior GWB omitted per IBC 704.5 Exterior finish (reference 3/4g elev) Tyvek air infiltration barrier over 1/2" OSB over 2x6 studs @ 16" w/ R-19 batt insul 5/8" type X GWB over 4 mil poly vapor barrier on interior side
	<b>Party Wall</b> 11 AD.1
	<b>Interior Partition (Non-bearing)</b> 2x4 or 2x6 studs @ 16" with 5/8" GWB both sides
	<b>Interior Guardrail</b> 10 AD.1



**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

03-016

**DRAKE LANDING**  
 BUILDING B  
 Frisco, Colorado



Note:  
Contractor to verify location  
and size of mechanical louvers.  
Coordinate with Architect  
prior to fab and installation

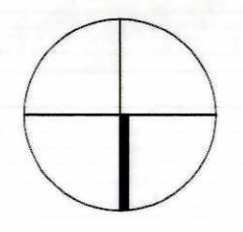
Equipment Isolation Wall  
2x6 @ 16" w/ R-19 Batt Insulation  
5/8" GWB on Room Side

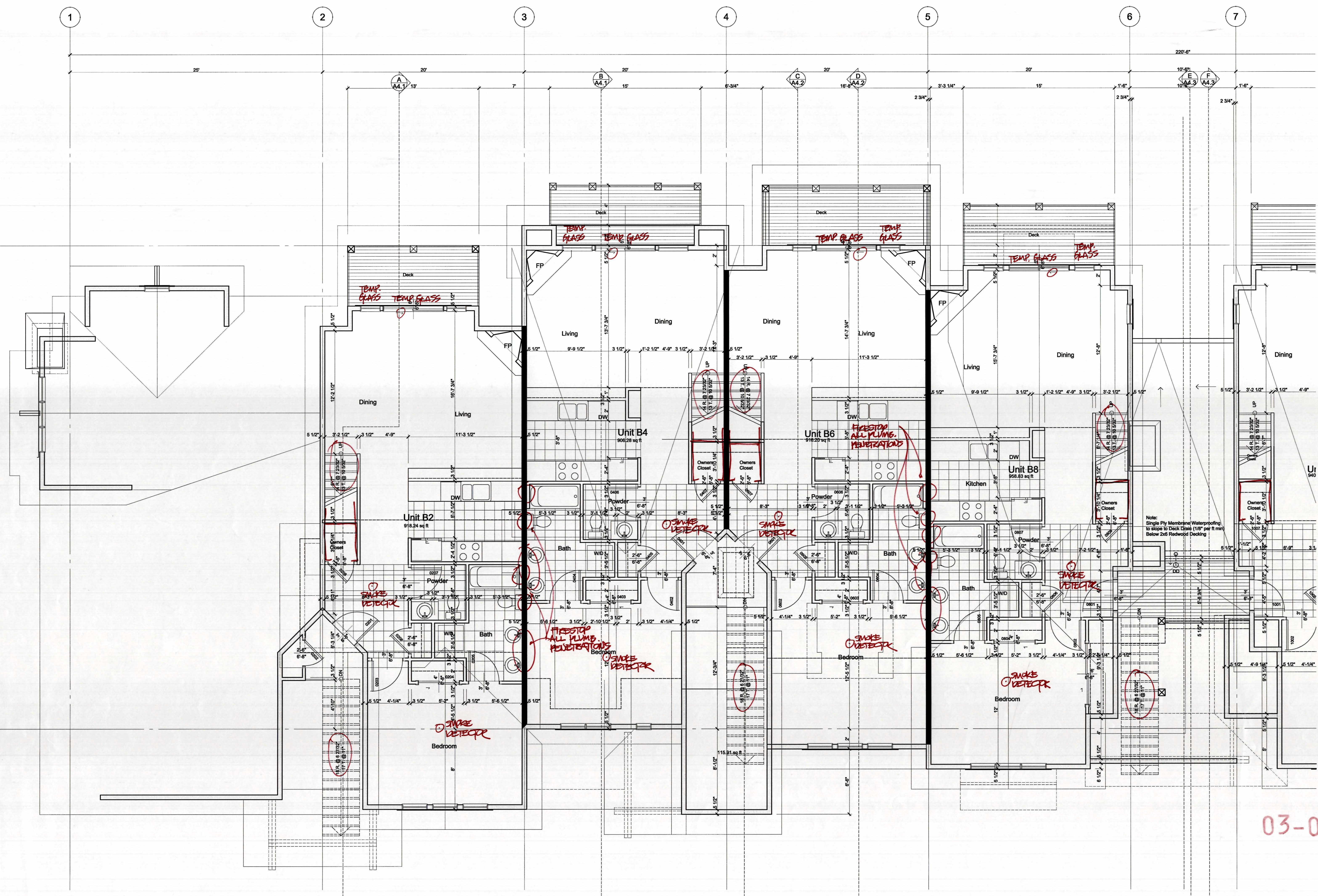
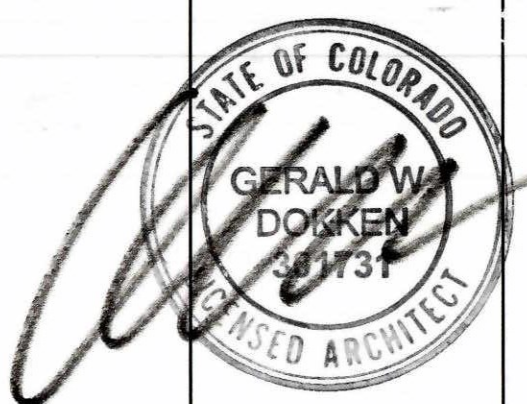
Interior Bearing Wall  
1 HR FR GA File NO. WP 8105  
2x6 studs @ 16" w/ R-19 batt Insul  
5/8" type X GWB both Sides  
**TO ROOF DECK**

WALL LEGEND	
	<b>Exterior Wall</b> 1 HR FR GA File NO. WP 8105 (Exterior GWB omitted per IBC 704.2) Exterior finish (reference bids elev) over Tyvek air infiltration barrier over 1 1/2" OSB over 2x6 studs @ 16" w/ R-19 batt Insul 5/8" type X GWB over 4 mil poly vapor barrier on interior side
	<b>Party Wall</b> 11 AD.1
	<b>Interior Partition (Non-bearing)</b> 2x4 or 2x6 studs @ 16" with 5/8" GWB both sides
	<b>Interior Guardrail</b> 10 AD.1

**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"



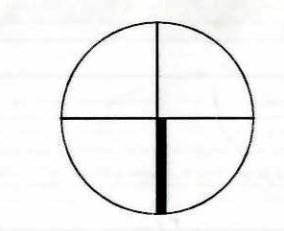


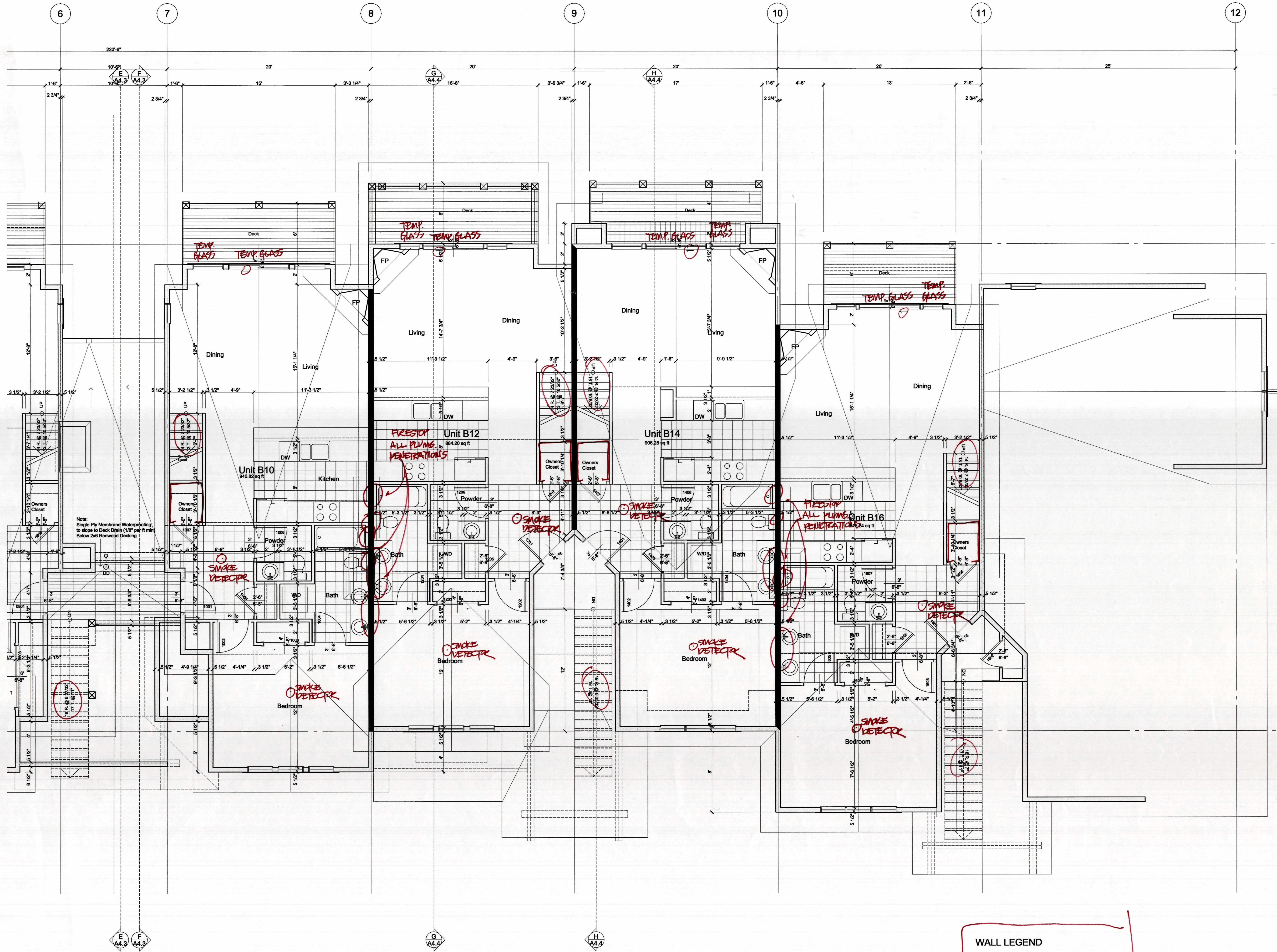
Note:  
 Single Ply Membrane Waterproofing  
 to slope to Deck Details (1/8" per ft min)  
 Below 2x6 Redwood Decking

03-016

WALL LEGEND	
	Exterior Wall 1 HR FR GA File NO. WP 8105 (Exterior GWB omitted per IBC 704.5) Exterior Finish (reference bidg elev) over 1/2" air infiltration barrier over 1/2" OSB over 2x6 studs @ 16" w/ R-19 batt insul 5/8" type X GWB over 4 mil poly vapor barrier on interior side
	Party Wall 11 AD.1
	Interior Partition (Non-bearing) 2x4 or 2x6 studs @ 16" with 5/8" GWB both sides
	Interior Guardrail 8 AD.1

**UPPER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



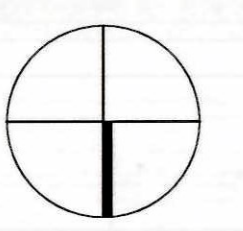


03-016

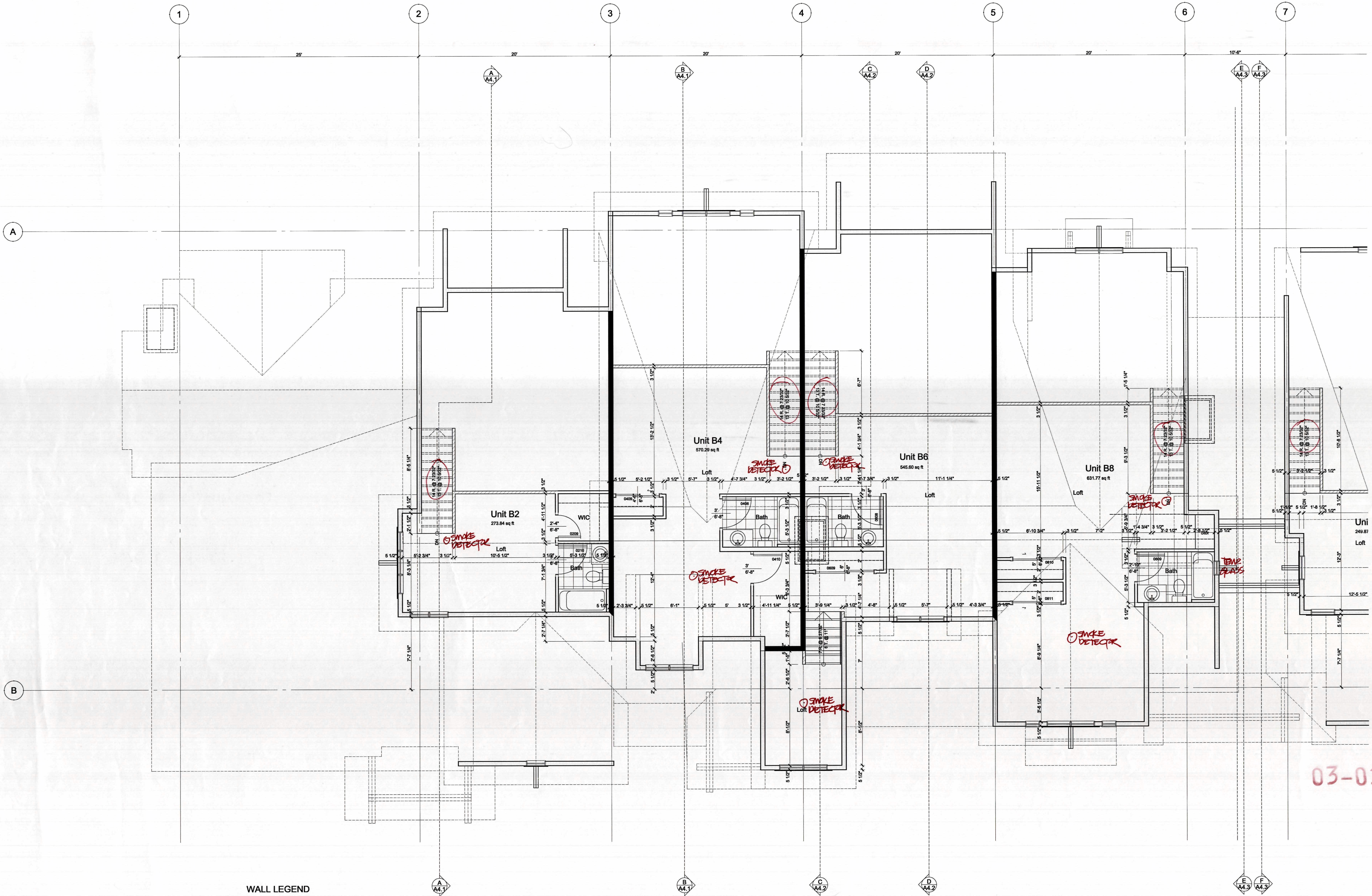
WALL LEGEND	
	<b>Exterior Wall</b> 1 HR FR GA File NO. WP 8105 (Exterior OWS certified per IBC 704.5) Exterior finish (reference bldg elev) over Tyvek air infiltration barrier over 1/2" OSB over 2x6 studs @ 16" w/ R-19 batt insul 5/8" type X GWB over 4 mil poly vapor barrier on interior side
	<b>Party Wall</b> 11 AD.1
	<b>Interior Partition (Non-bearing)</b> 2x4 or 2x6 studs @ 16" with 5/8" GWB both sides
	<b>Interior Guardrail</b> 10 AD.1

**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"



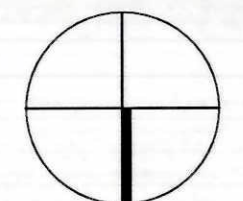




WALL LEGEND

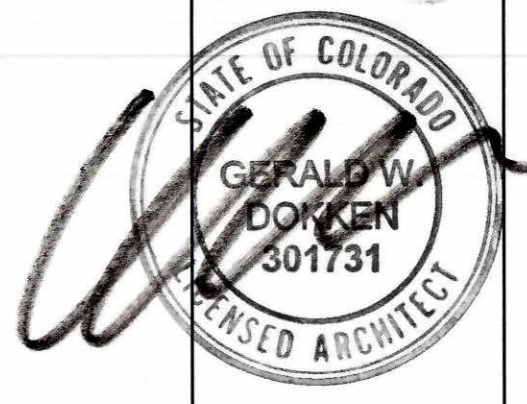
- Exterior Wall**  
 1 HR FR GA Flt NO. WP 6105  
 (Exterior CWB omitted per IRC 704.5)  
 Exterior finish (reference bldg elev.) over  
 1/2" OSB over  
 3/4" air infiltration barrier over  
 2x6 studs @ 16" w/ R-19 batt insul  
 5/8" type X CWB over  
 4 mil poly vapor barrier on interior side
- Party Wall** (11 AD.1)
- Interior Partition (Non-bearing)**  
 2x4 or 2x6 studs @ 16" with  
 5/8" CWB both sides
- Interior Guardrail** (10 AD.1)

**LOFT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



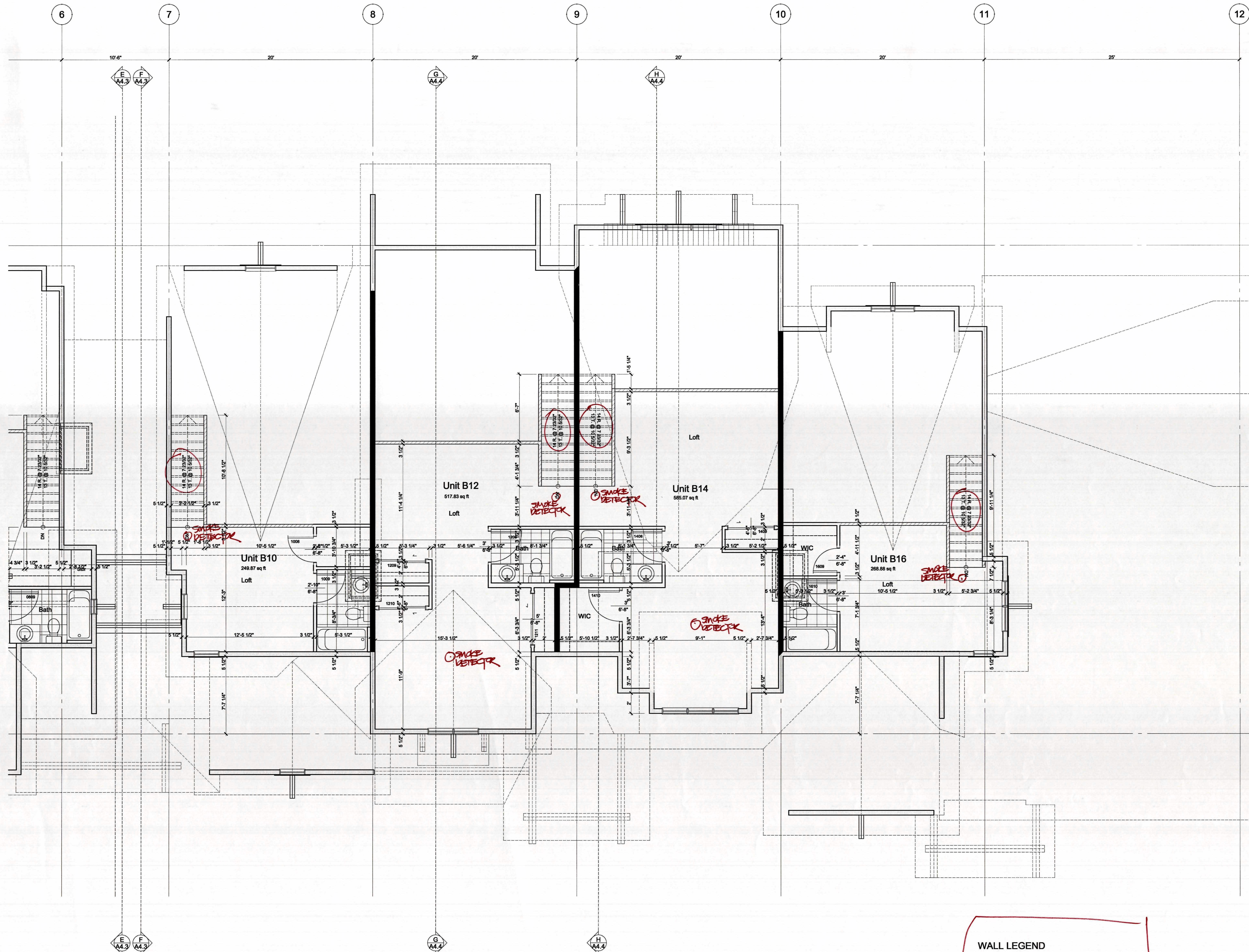
03-016


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 707 East Arapahoe Trail  
 PO Box 6118 Dillon, CO 80435  
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 arch@colorado.net



**DRAKE LANDING**  
 BUILDING B  
 Frisco, Colorado

DATE	11-18-02
SCALE	
DRAWN BY	MS
JOB NO.	2001
SHEET	<b>A2.5</b>

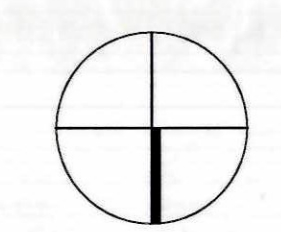


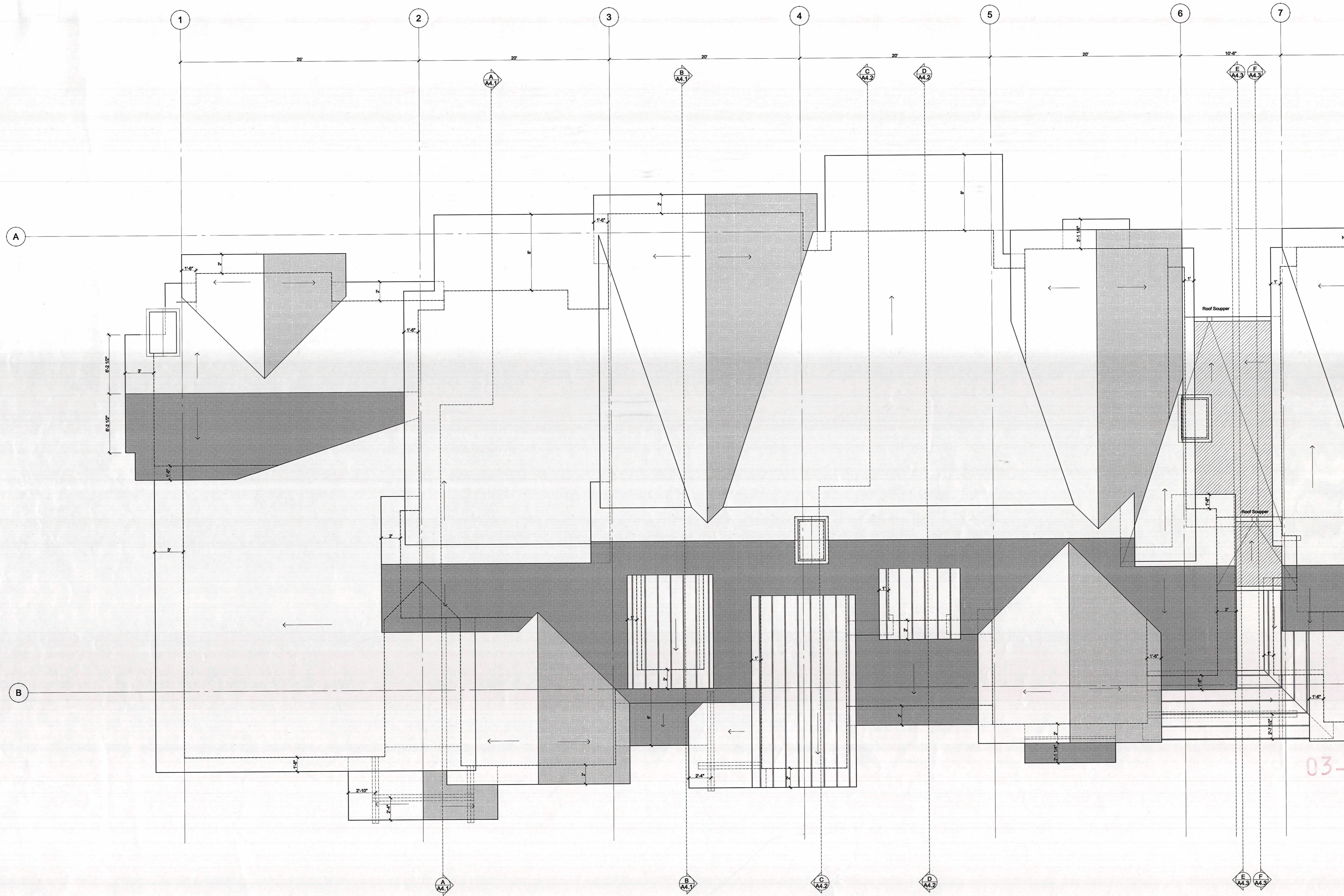
03-016

**WALL LEGEND**

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	<b>Party Wall</b> 11 AD.1
	<b>Interior Partition (Non-bearing)</b> 2x4 or 2x6 studs @ 16" with 5/8" GWB both sides
	<b>Interior Guardrail</b> 10 AD.1

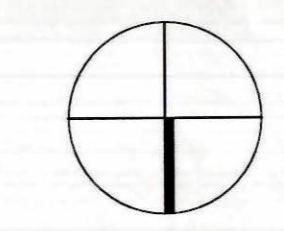
**LOFT FLOOR PLAN**





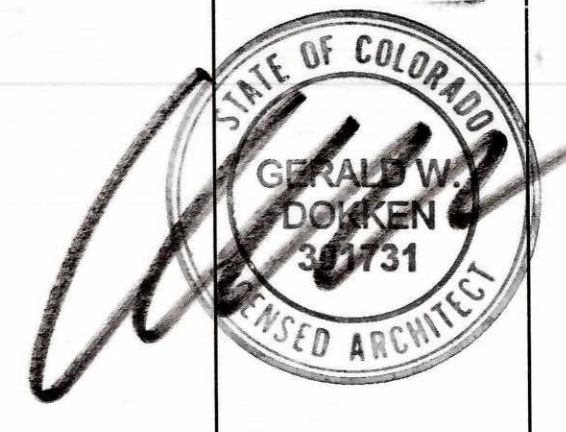
03-016

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



REVISION	DATE	BY

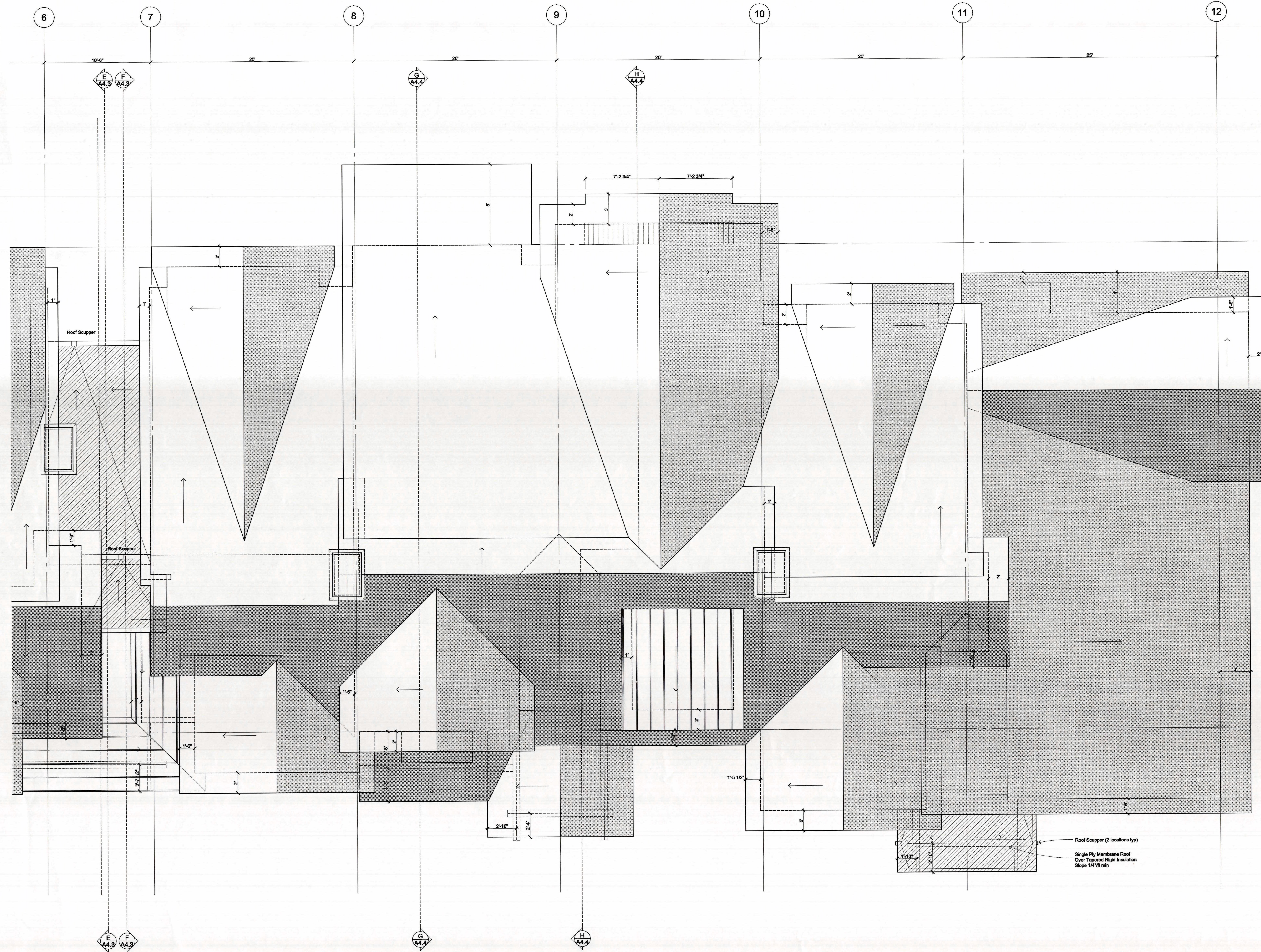
**MARKETPLACE ARCHITECTS**  
 727 East Arapahoe Trail  
 PO Box 8318  
 Frisco, CO 80435  
 970-464-8300 Fax 970-332-6565  
 arch@colorado.net



**DRAKE LANDING**  
 BUILDING B  
 Frisco, Colorado

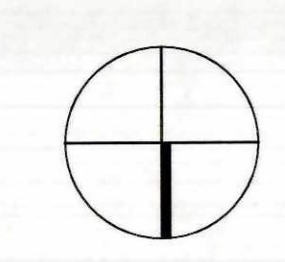
DATE	11-18-02
SCALE	
DRAWN BY	MS
JOB NO.	2001
SHEET	

**A2.7**



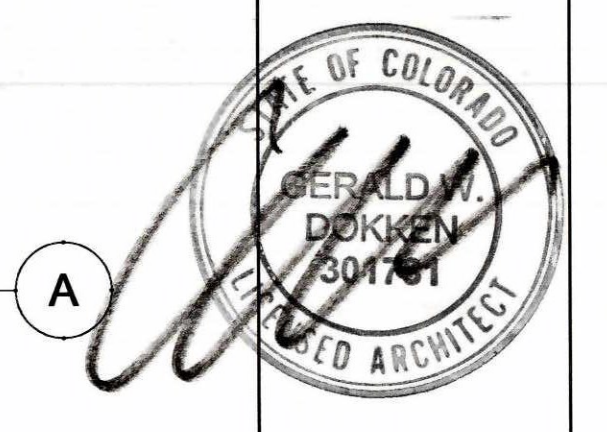
03-016

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION	DATE

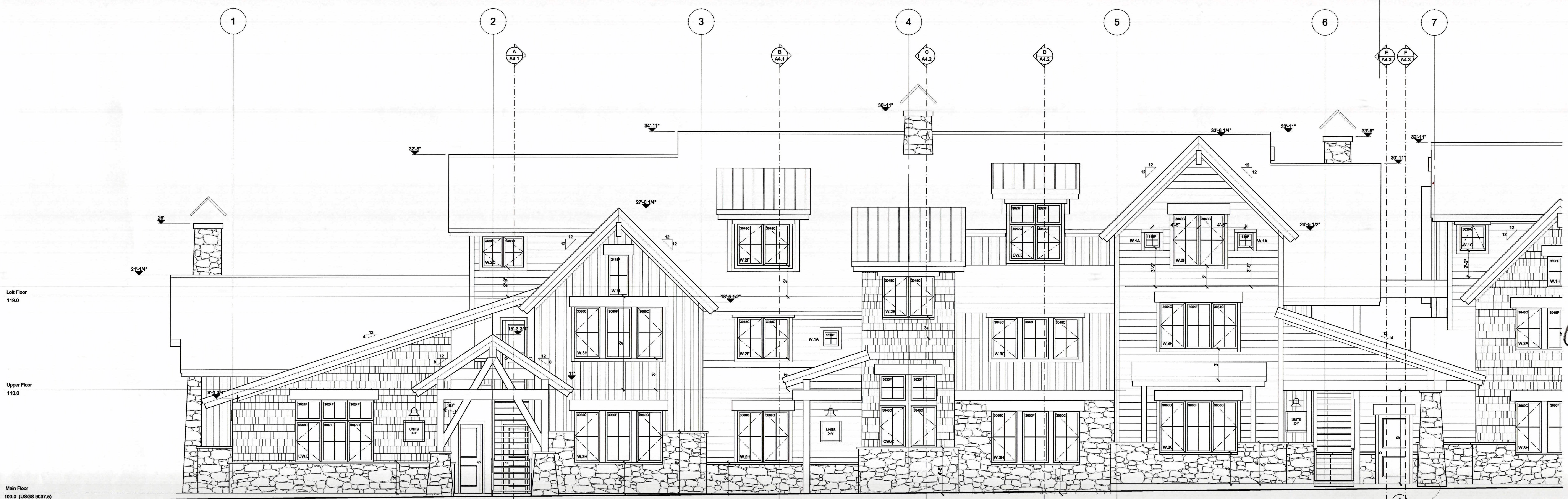
**MARKETPLACE ARCHITECTS**  
707 East Arapahoe Trail  
PO Box 6318 Denver, CO 80433  
303-444-8283 Fax 303-352-2985  
architect@colorado.net



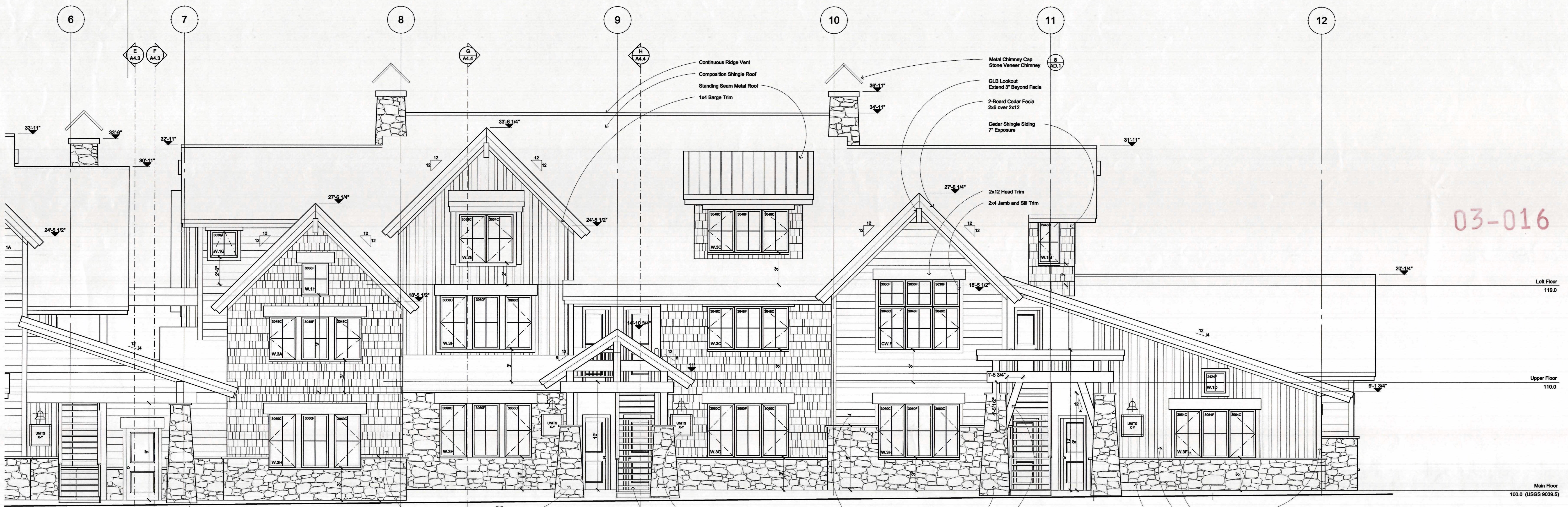
**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE	11-18-02
SCALE	
DRAWN BY	MS
JOB NO.	2001
SHEET	

**A2.8**

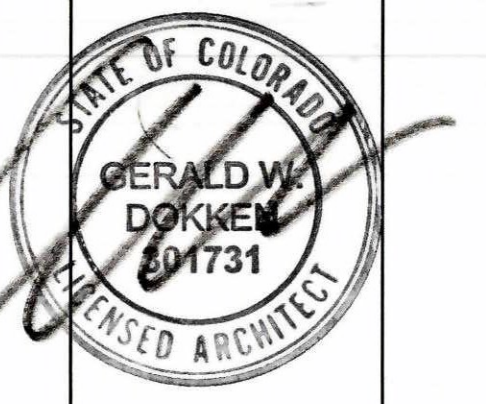


**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

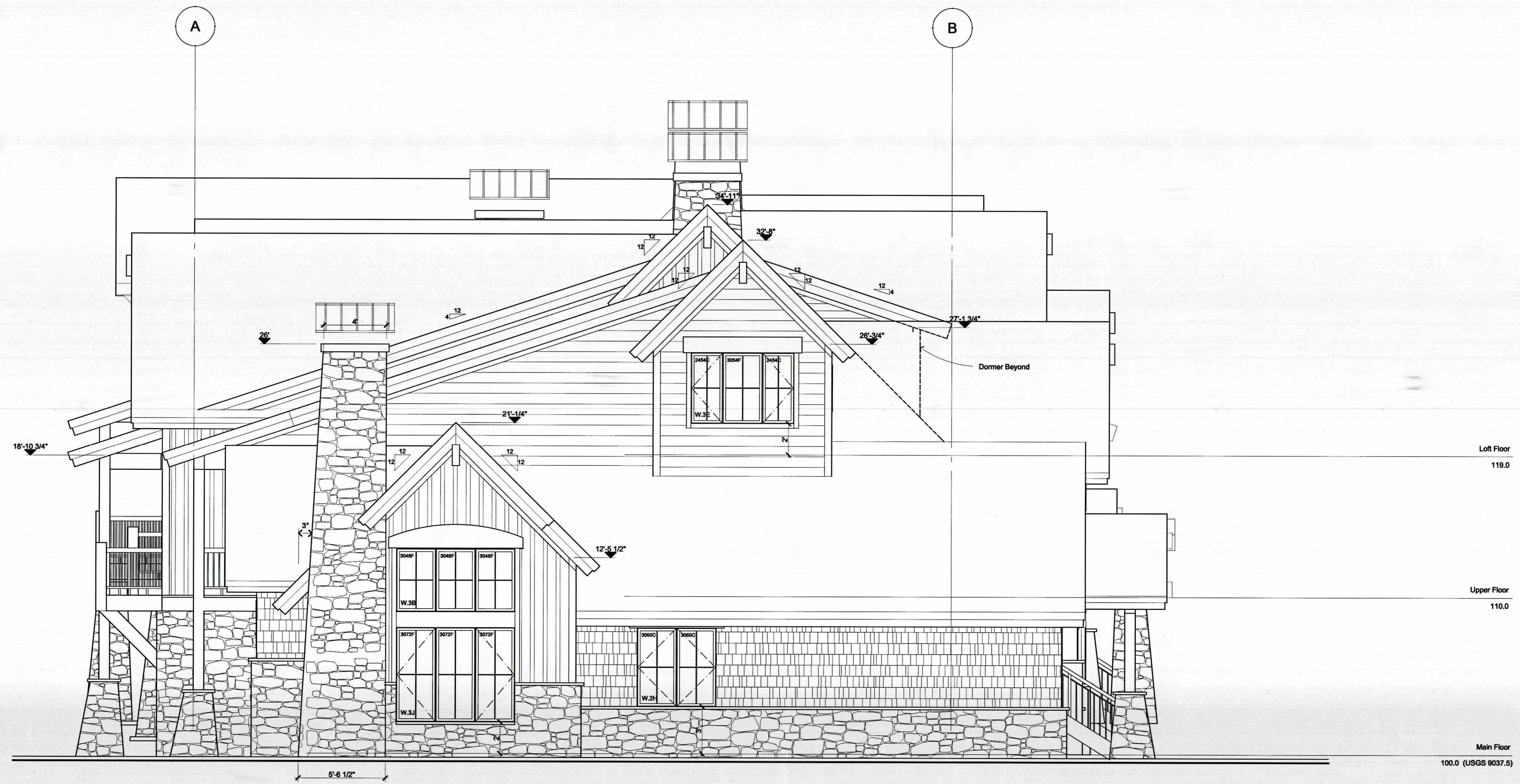
MARKETPLACE ARCHITECTS  
707 East Arapahoe Trail  
PO Box 6118 Frisco, CO 80435  
970.468.8183 Fax 970.262.0565  
architect@marketplace.com



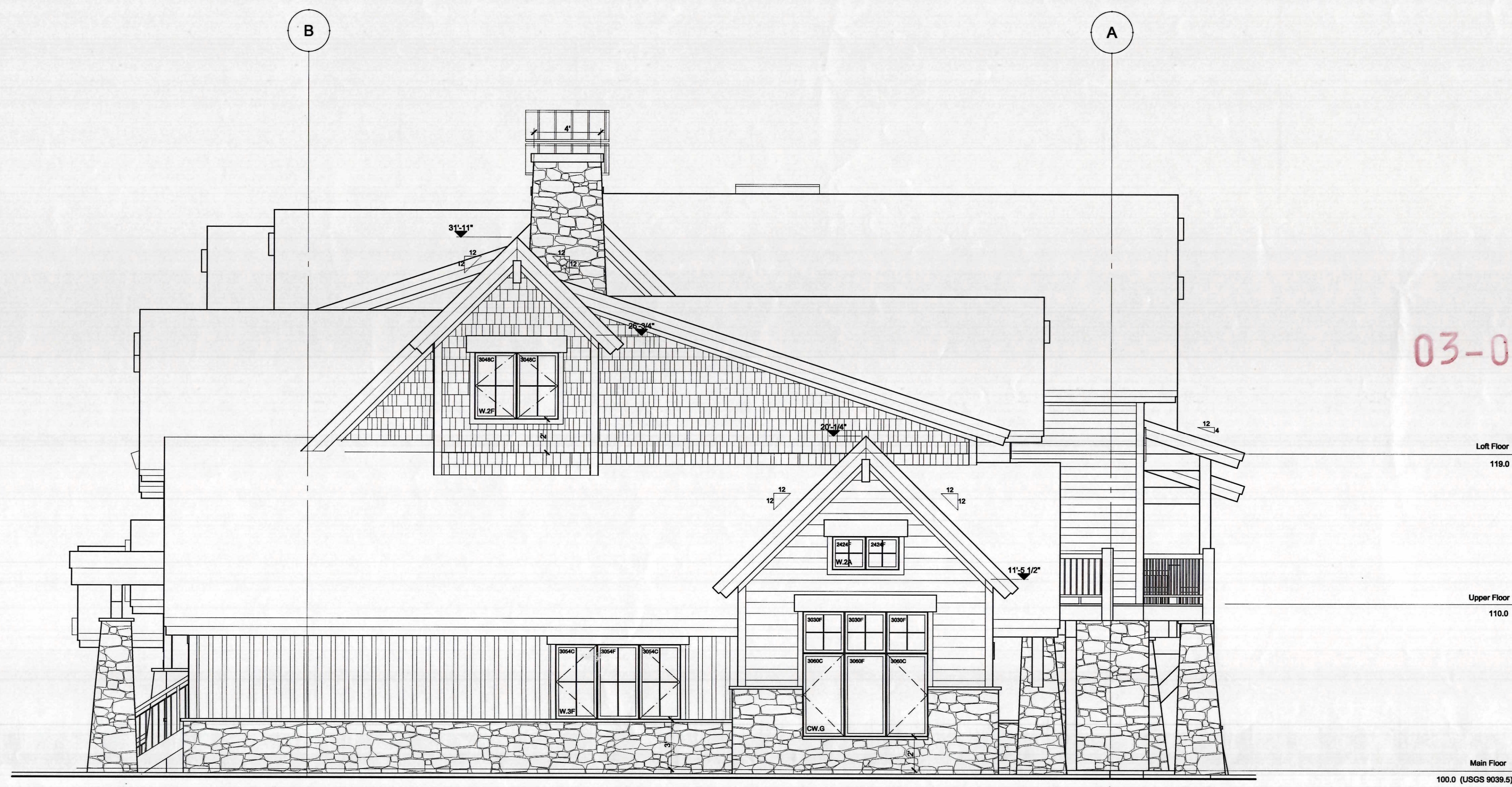
03-016

**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE: 11-18-02  
SCALE:  
DRAWN BY: MS  
DATE: 2001  
SHEET: A3.1



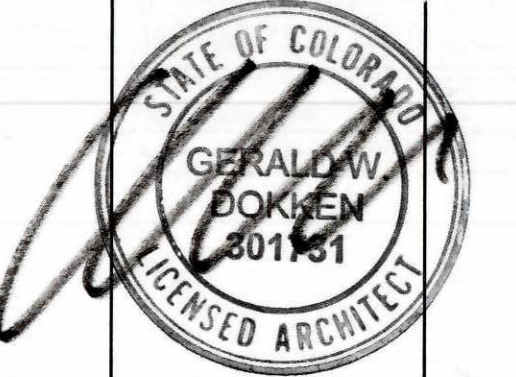
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

03-016

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L L C  
707 East Arapahoe Trail  
PO Box 8318, Silver, CO 80455  
970.468.8585 Fax 970.242.0565  
architect@colorado.net



**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE: 11-18-02

SCALE:

DRAWN BY: MS

JOB NO.: 2001

SHEET

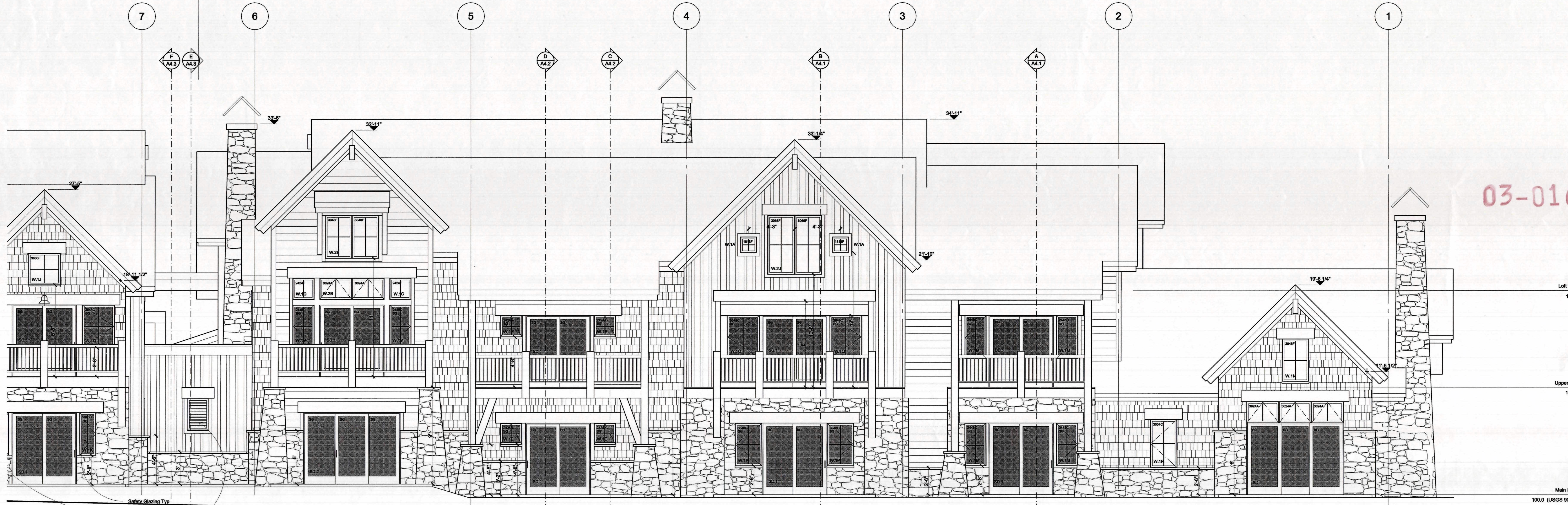
**A3.2**



Stone Column Base  
Guardrail  
Vinyl Sliding Patio Doors  
Stone Column Base  
Stone Veneer and Cap  
Safety Glazing Typ  
End Knee Brace  
Mechanical Louver  
Verify Size and Location with Mechanical Design

Main Floor USGS 9038.5    Main Floor USGS 9038.5

**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



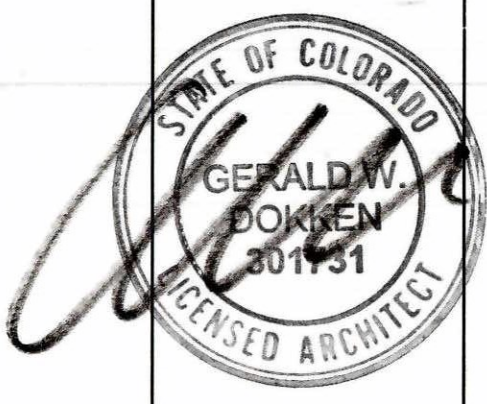
Safety Glazing Typ  
End Knee Brace  
Mechanical Louver  
Verify Size and Location with Mechanical Design

Main Floor USGS 9038.5    Main Floor USGS 9037.5

**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION

**MARKETPLACE ARCHITECTS**  
L P C  
702 East Avenue Trail  
PO Box 6118 Silver, CO 80453  
970.468.8343 Fax 970.262.0565  
architect@marketplace.com



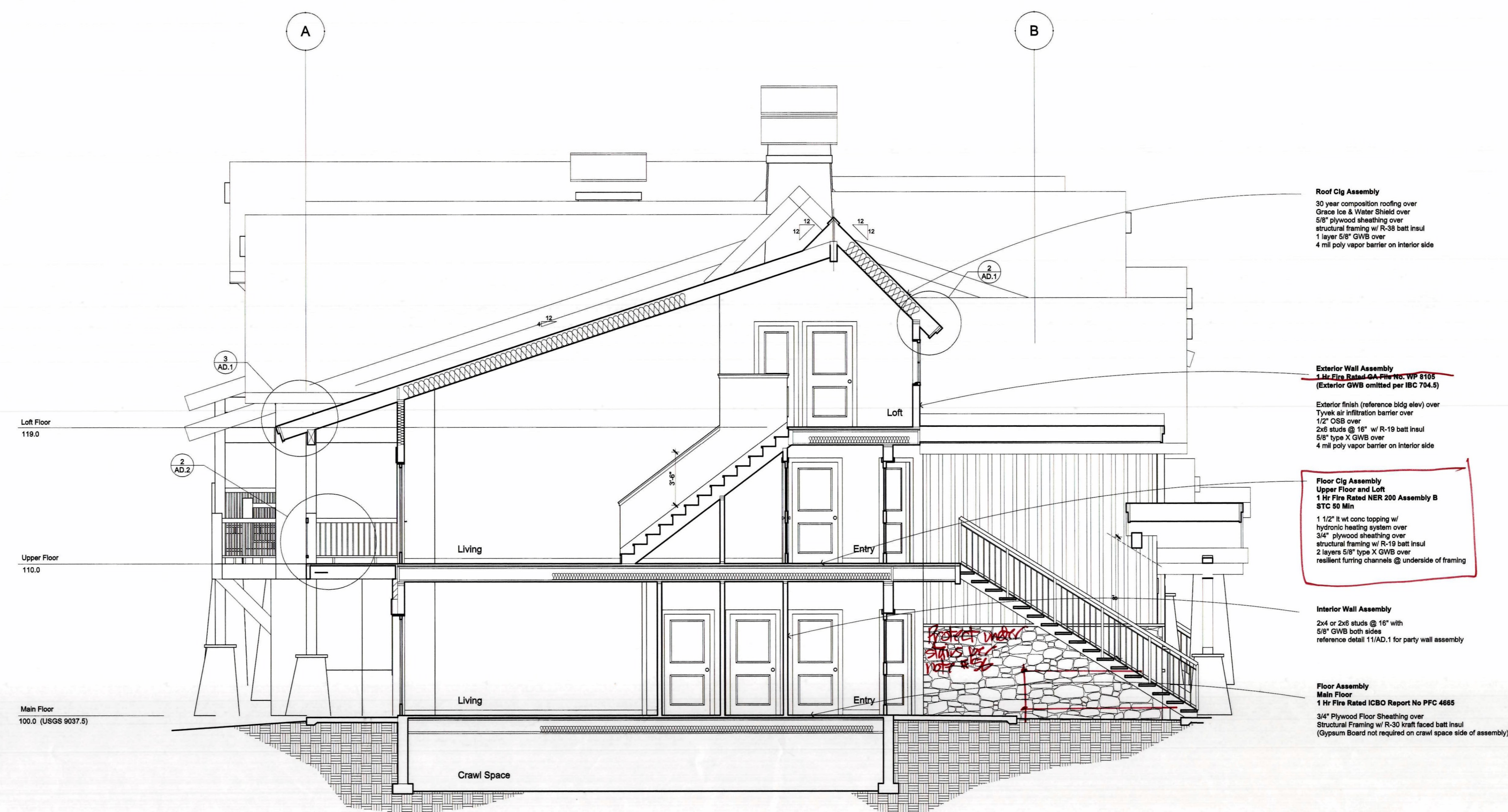
03-016

**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE: 11-18-02  
SCALE:  
DRAWN BY: MS  
DATE: 2001  
SHEET: **A3.3**

REVISIONS	DATE
IBC Revisions	11-18-02
Plan Check Corrections	05-27-03

**MARKETPLACE ARCHITECTS**  
 727 East Arapahoe Trail  
 PO Box 6318 Dillon, CO 80435  
 970-468-8528 Fax 970-282-0565  
 arch@marketplace.com



**Roof Cig Assembly**  
 30 year composition roofing over  
 Grace Ice & Water Shield over  
 5/8" plywood sheathing over  
 structural framing w/ R-38 batt insul  
 1 layer 5/8" GWB over  
 4 mil poly vapor barrier on interior side

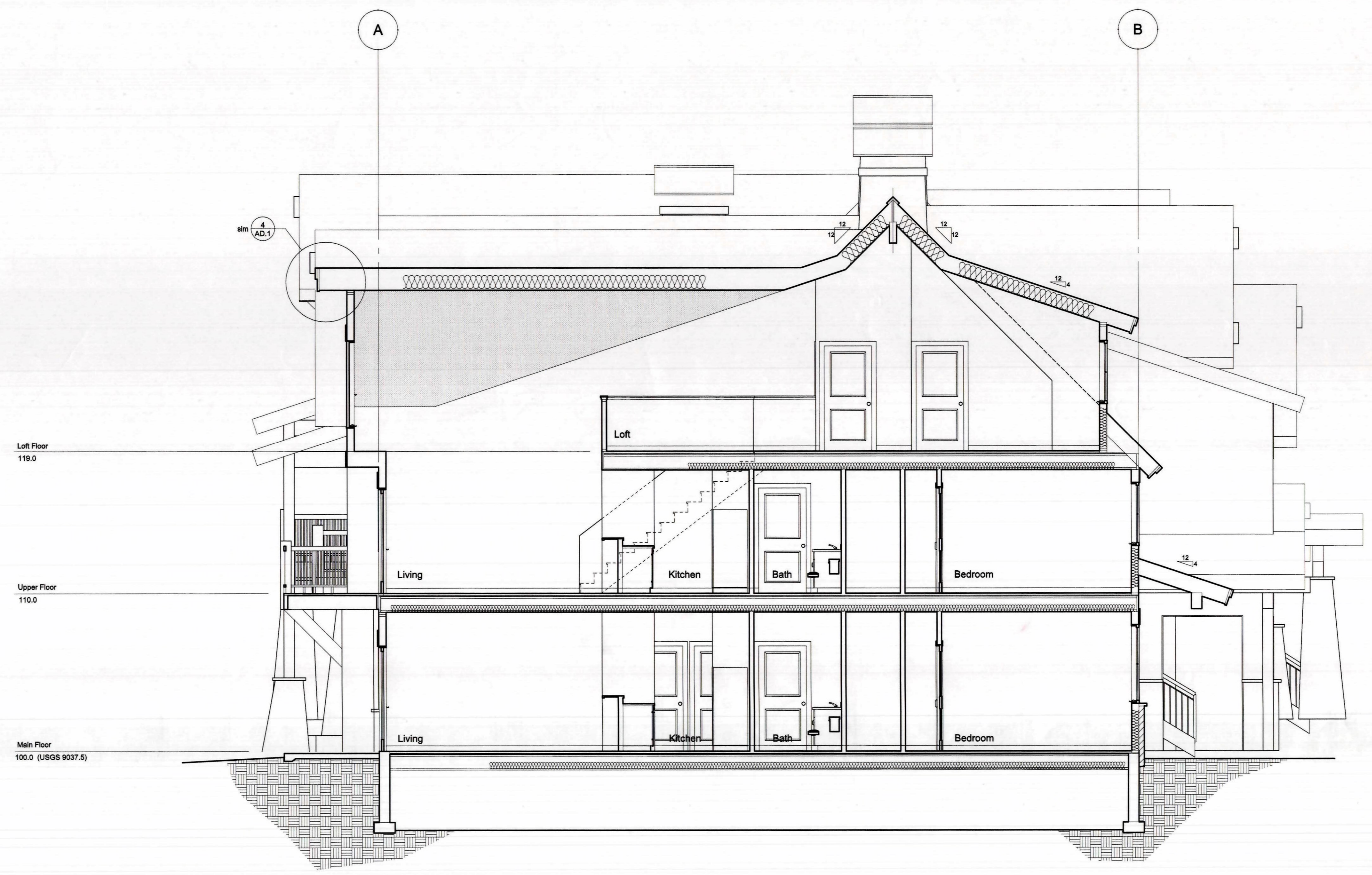
**Exterior Wall Assembly**  
 1 1/2" Rigid Insulation (GWB) 6105  
 (Exterior GWB omitted per IBC 704.5)  
 Exterior finish (reference bldg elev) over  
 Tyvek air infiltration barrier over  
 1/2" OSB over  
 2x6 studs @ 16" w/ R-19 batt insul  
 5/8" type X GWB over  
 4 mil poly vapor barrier on interior side

**Floor Cig Assembly**  
 Upper Floor and Loft  
 1 Hr Fire Rated NER 200 Assembly B  
 STC 50 Min  
 1 1/2" w/ conc topping w/  
 hydronic heating system over  
 3/4" plywood sheathing over  
 structural framing w/ R-19 batt insul  
 2 layers 5/8" type X GWB over  
 resilient turning channels @ underside of framing

**Interior Wall Assembly**  
 2x4 or 2x6 studs @ 16" with  
 5/8" GWB both sides  
 reference detail 11/AD.1 for party wall assembly

**Floor Assembly**  
 Main Floor  
 1 Hr Fire Rated ICBO Report No PFC 4685  
 3/4" Plywood Floor Sheathing over  
 Structural Framing w/ R-30 batt insul  
 (Gypsum Board not required on crawl space side of assembly)

**SECTION A**  
 SCALE: 1/4" = 1'-0"



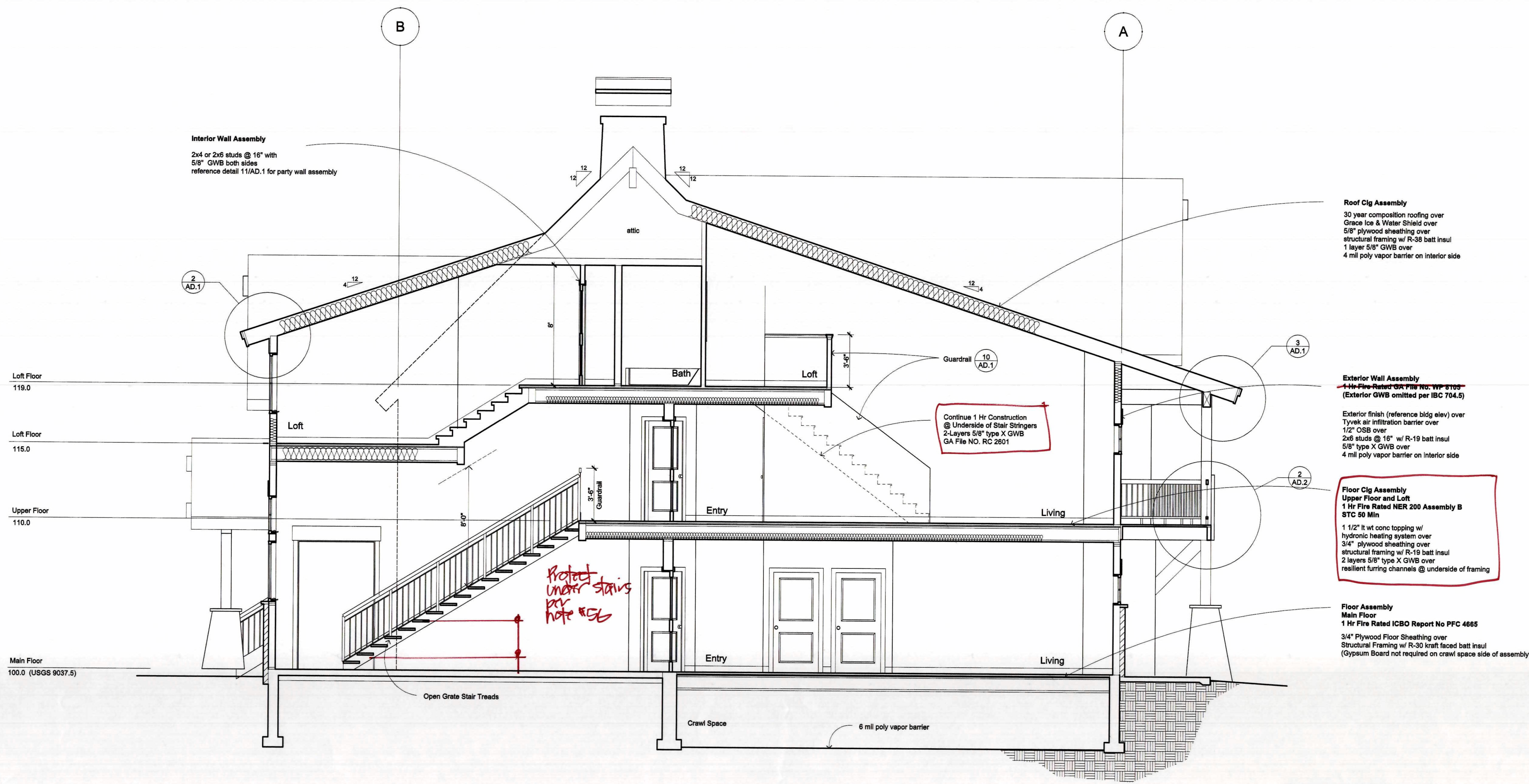
03-016

**SECTION B**  
 SCALE: 1/4" = 1'-0"

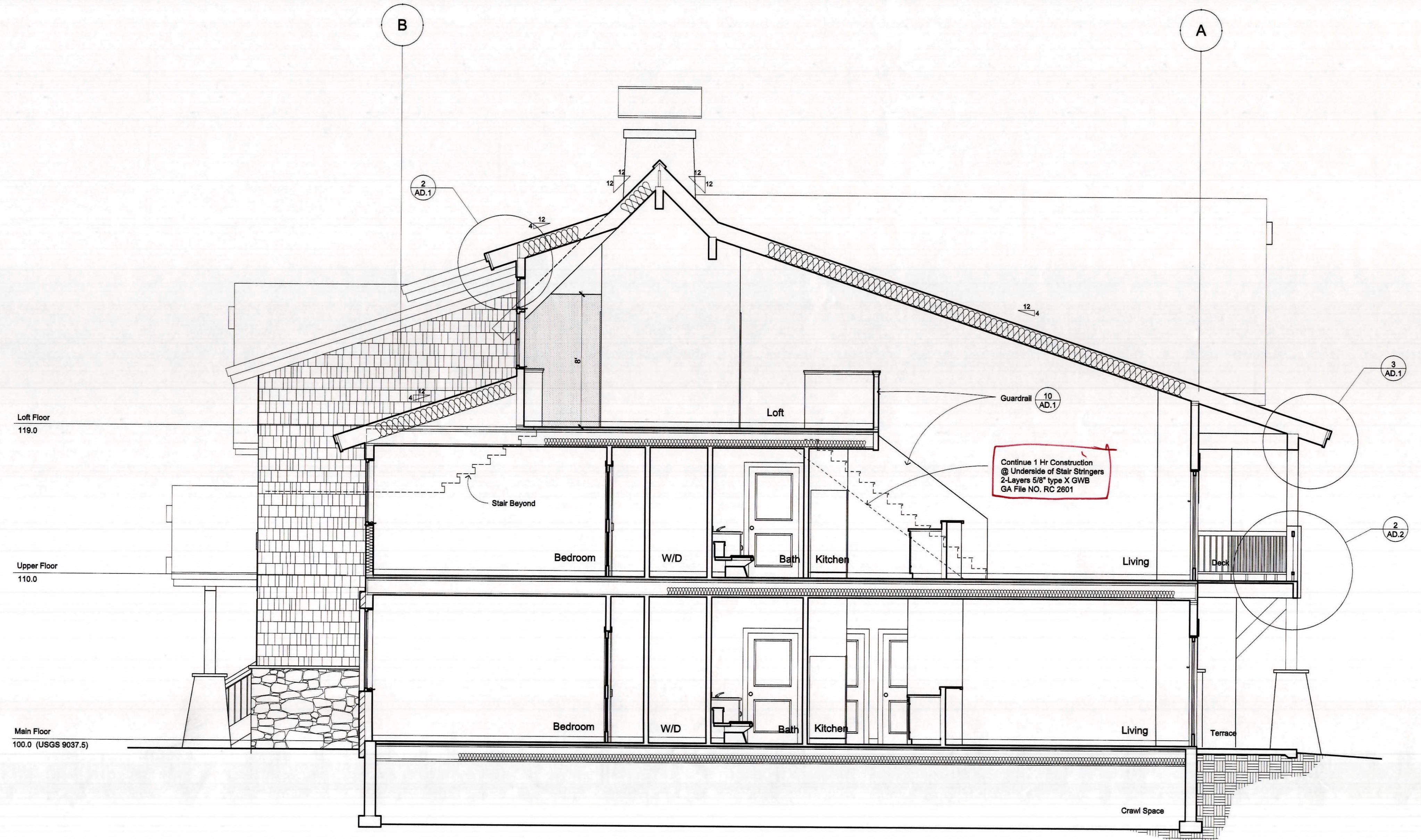
**DRAKE LANDING**  
 BUILDING B  
 Frisco, Colorado

DATE	11-18-02
SCALE	
DRAWN BY	MS
JOB NO.	2001
SHEET	A4.1





**SECTION C**  
SCALE: 1/4" = 1'-0"



**SECTION D**  
SCALE: 1/4" = 1'-0"

REVISIONS	DATE	BY
IBC Revisions 11-18-02		
Plan Check Corrections 08-27-03		

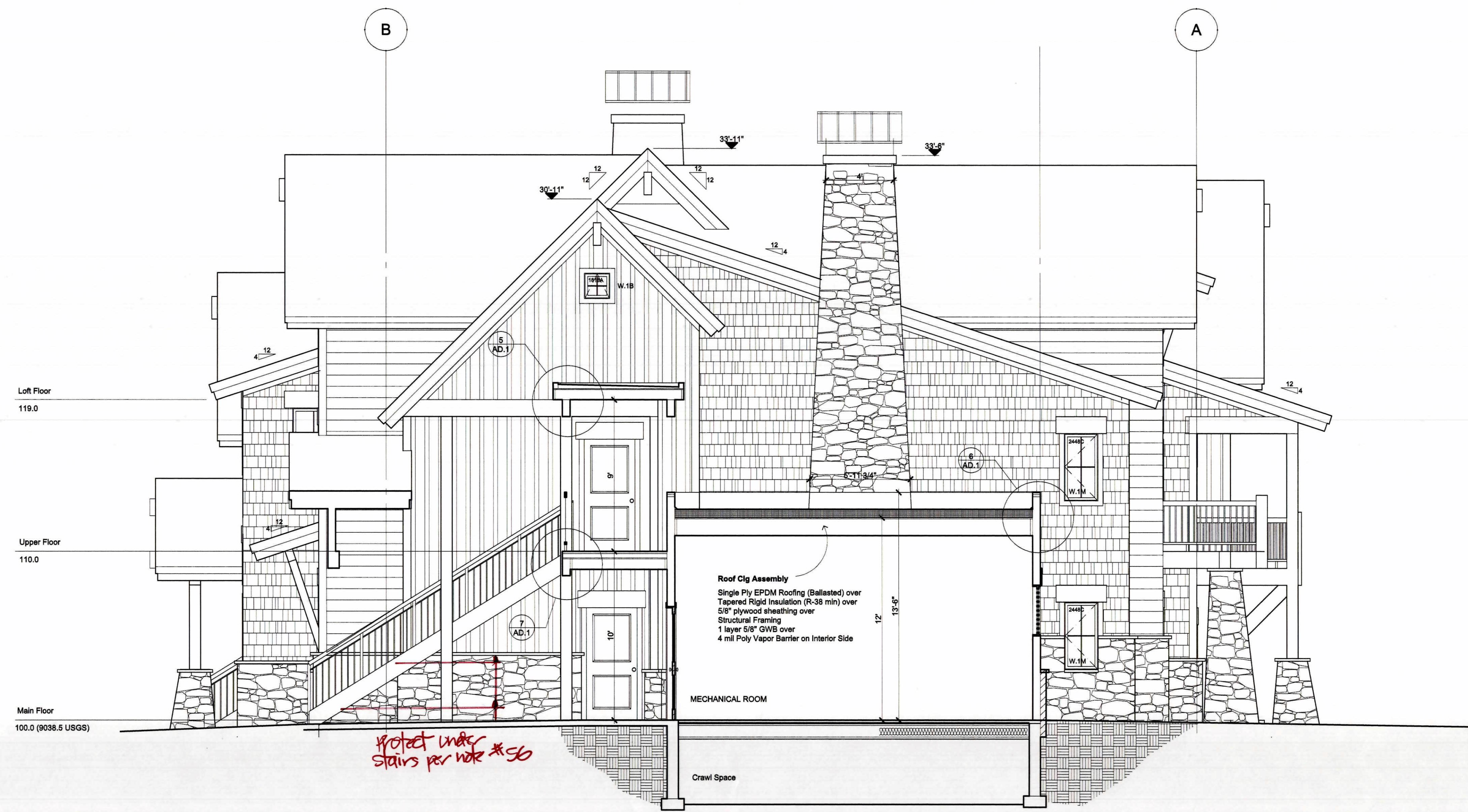
**MARKETPLACE ARCHITECTS**  
L L C  
707 East Arapahoe Trail  
PO Box 8718, Denver, CO 80202  
303.448.8583 Fax 303.262.2565  
architect@colorado.net



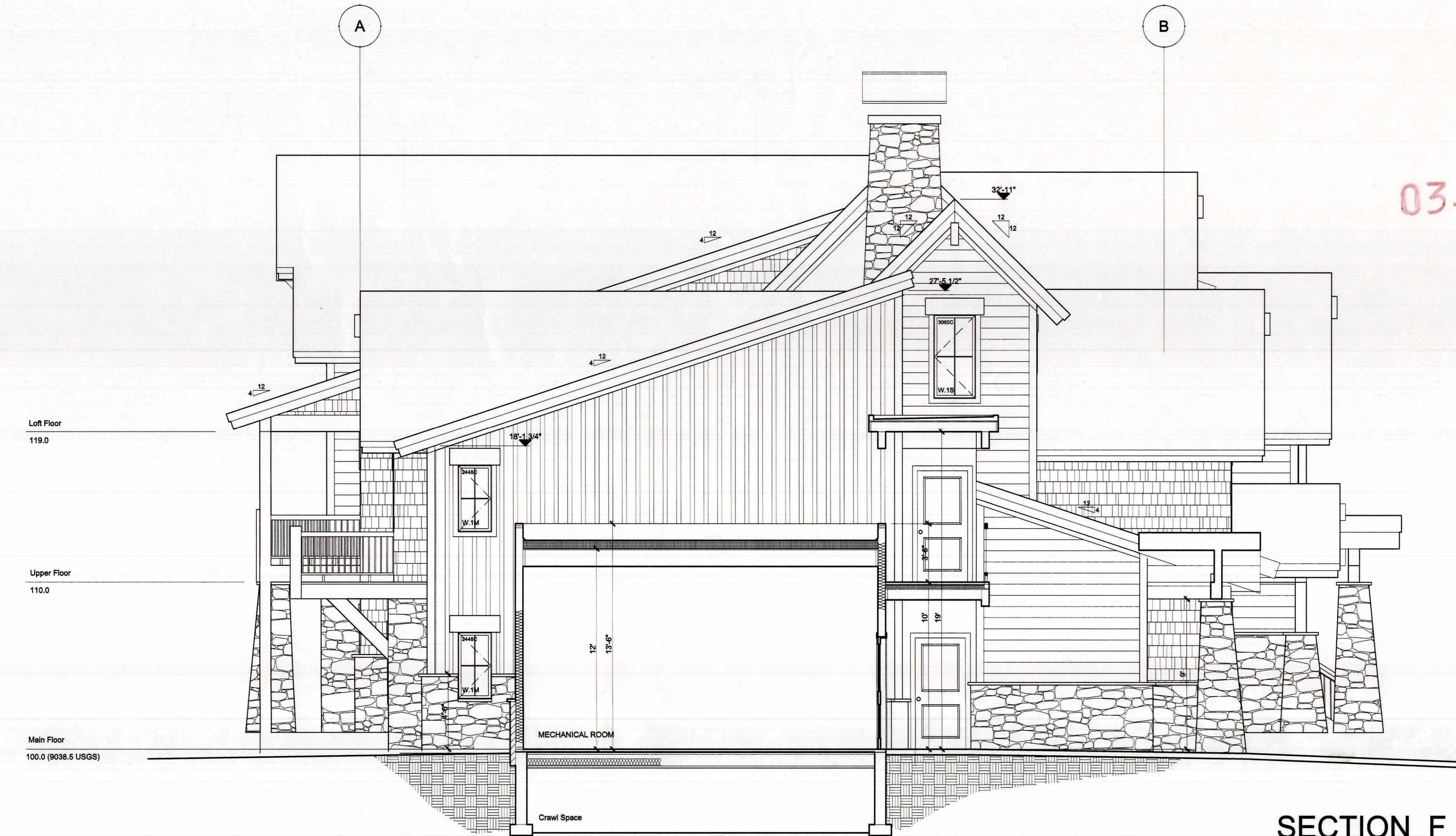
03-016

**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE	11-18-02
SCALE	
DRAWN BY	MS
JOB NO.	2001
SHEET	A4.2



**SECTION E**  
SCALE: 1/4" = 1'-0"



**SECTION F**  
SCALE: 1/4" = 1'-0"

*Protect under stairs per note #56*

03-016

REVISIONS

Plan Check Corrections	05-27-23

**MARKETPLACE ARCHITECTS**  
L L C  
707 East Mountain Trail  
PO Box 6314, Duran, CO 80435  
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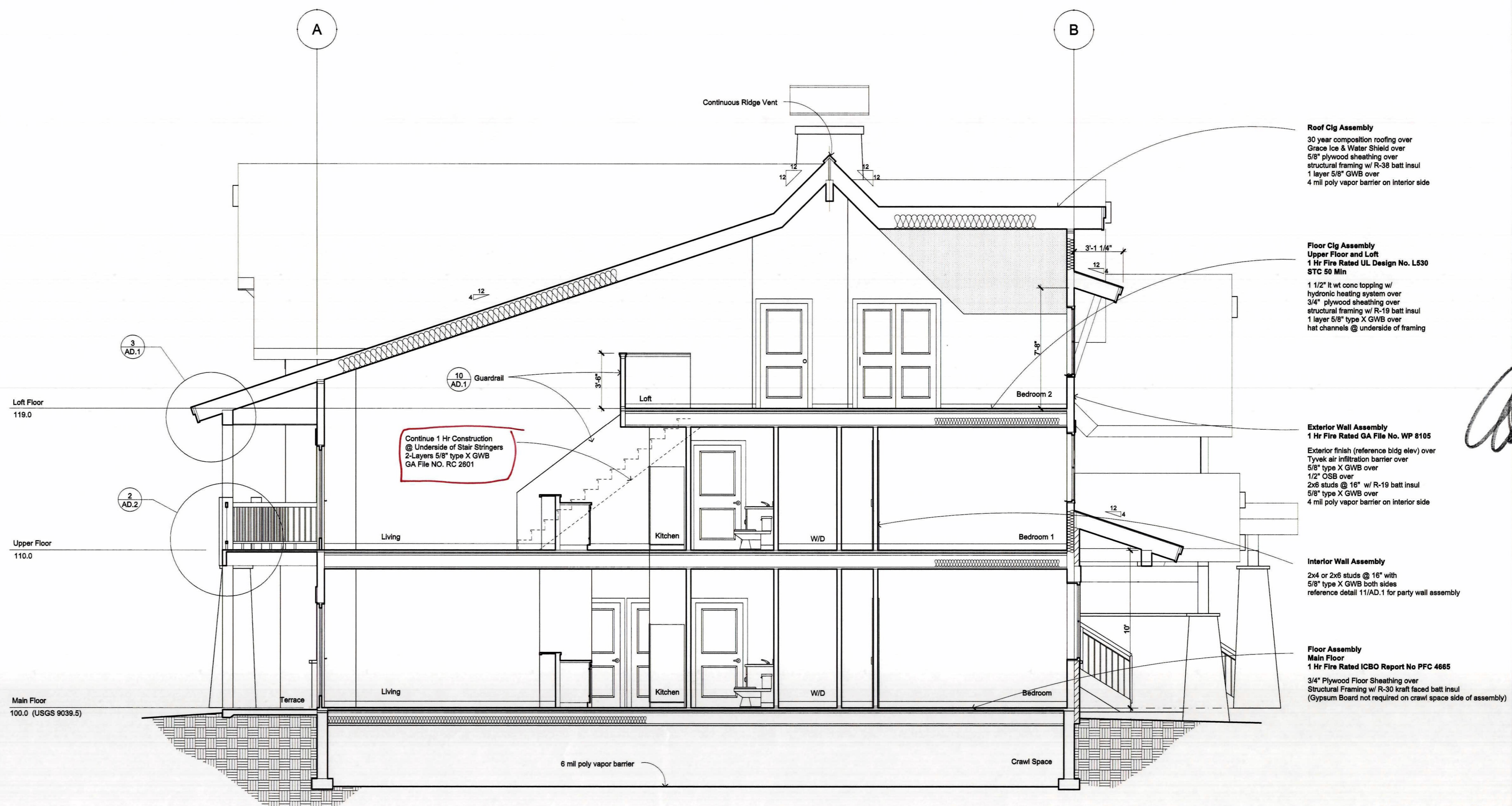
**SEAL OF COLORADO**  
**SEARAD W. DORKEN**  
301731  
LICENSED ARCHITECT

**DRAKE LANDING**  
BUILDING B  
Frisco, Colorado

DATE: 11-18-02  
SCALE:  
DRAWN BY: MS  
JOB NO.: 2001  
SHEET: **A4.3**

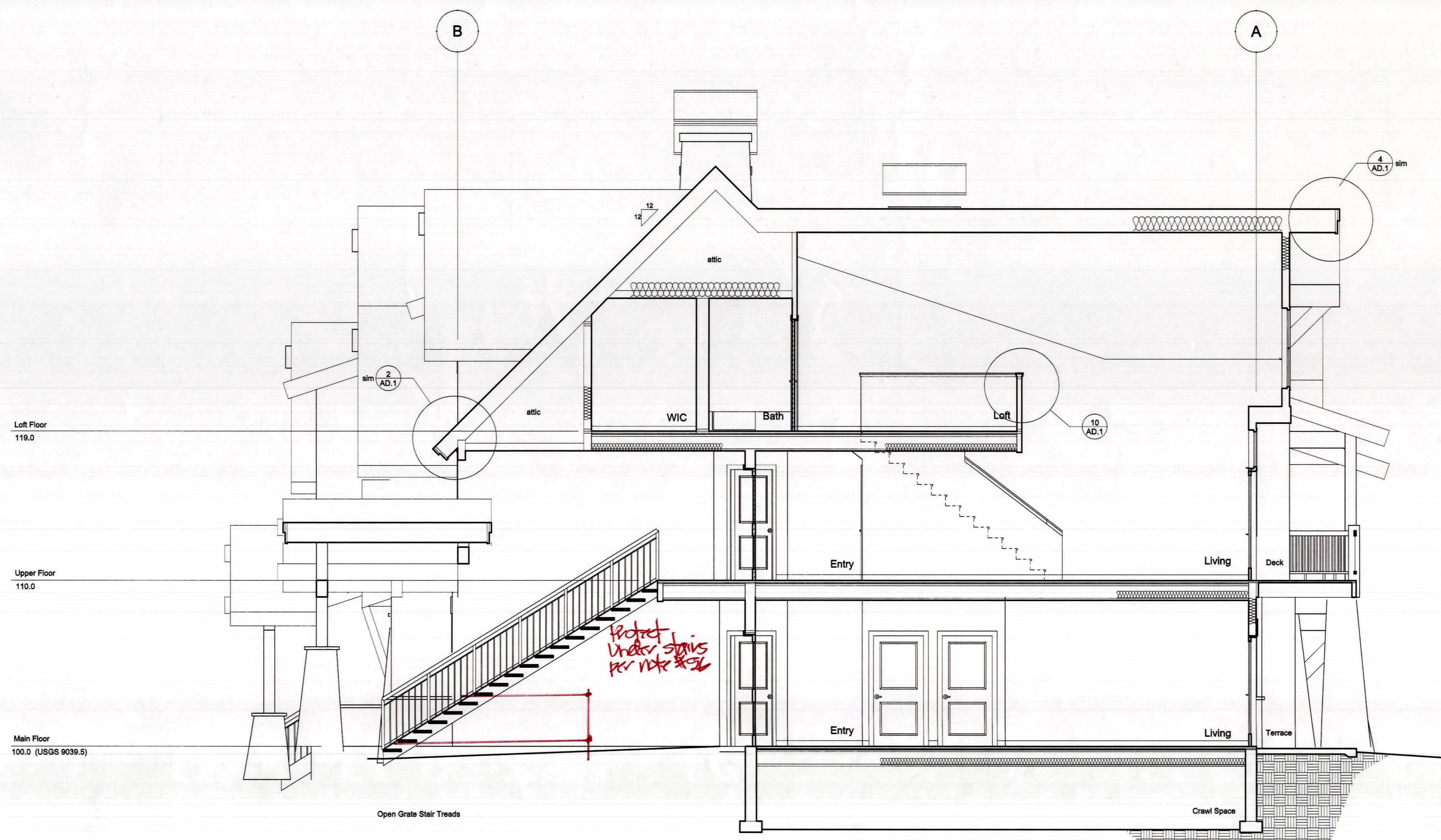
REVISIONS	
ISC Revisions	11-18-02
Plan Check Corrections	05-27-03

**MARKETPLACE ARCHITECTS**  
 707 East Anemone Trail  
 PO Box 6318, Durango, CO 80435  
 970.468.6565 Fax 970.332.2565  
 arch@marketplace.net



- Roof Clg Assembly**  
 30 year composition roofing over Grace Ice & Water Shield over 5/8" plywood sheathing over structural framing w/ R-38 batt insul 1 layer 5/8" GWB over 4 mil poly vapor barrier on interior side
- Floor Clg Assembly**  
 Upper Floor and Loft  
 1 Hr Fire Rated UL Design No. L530 STC 50 Min  
 1 1/2" ft wt conc topping w/ hydronic heating system over 3/4" plywood sheathing over structural framing w/ R-19 batt insul 1 layer 5/8" type X GWB over hat channels @ underside of framing
- Exterior Wall Assembly**  
 Upper Floor and Loft  
 1 Hr Fire Rated GA File No. WP 8105  
 Exterior finish (reference bldg elev) over Tyvek air infiltration barrier over 5/8" type X GWB over 1/2" OSB over 2x6 studs @ 16" w/ R-19 batt insul 5/8" type X GWB over 4 mil poly vapor barrier on interior side
- Interior Wall Assembly**  
 2x4 or 2x6 studs @ 16" with 5/8" type X GWB both sides reference detail 11/AD.1 for party wall assembly
- Floor Assembly**  
 Main Floor  
 1 Hr Fire Rated ICBO Report No PFC 4685  
 3/4" Plywood Floor Sheathing over Structural Framing w/ R-30 kraft faced batt insul (Gypsum Board not required on crawl space side of assembly)

**SECTION G**  
 SCALE: 1/4" = 1'-0"



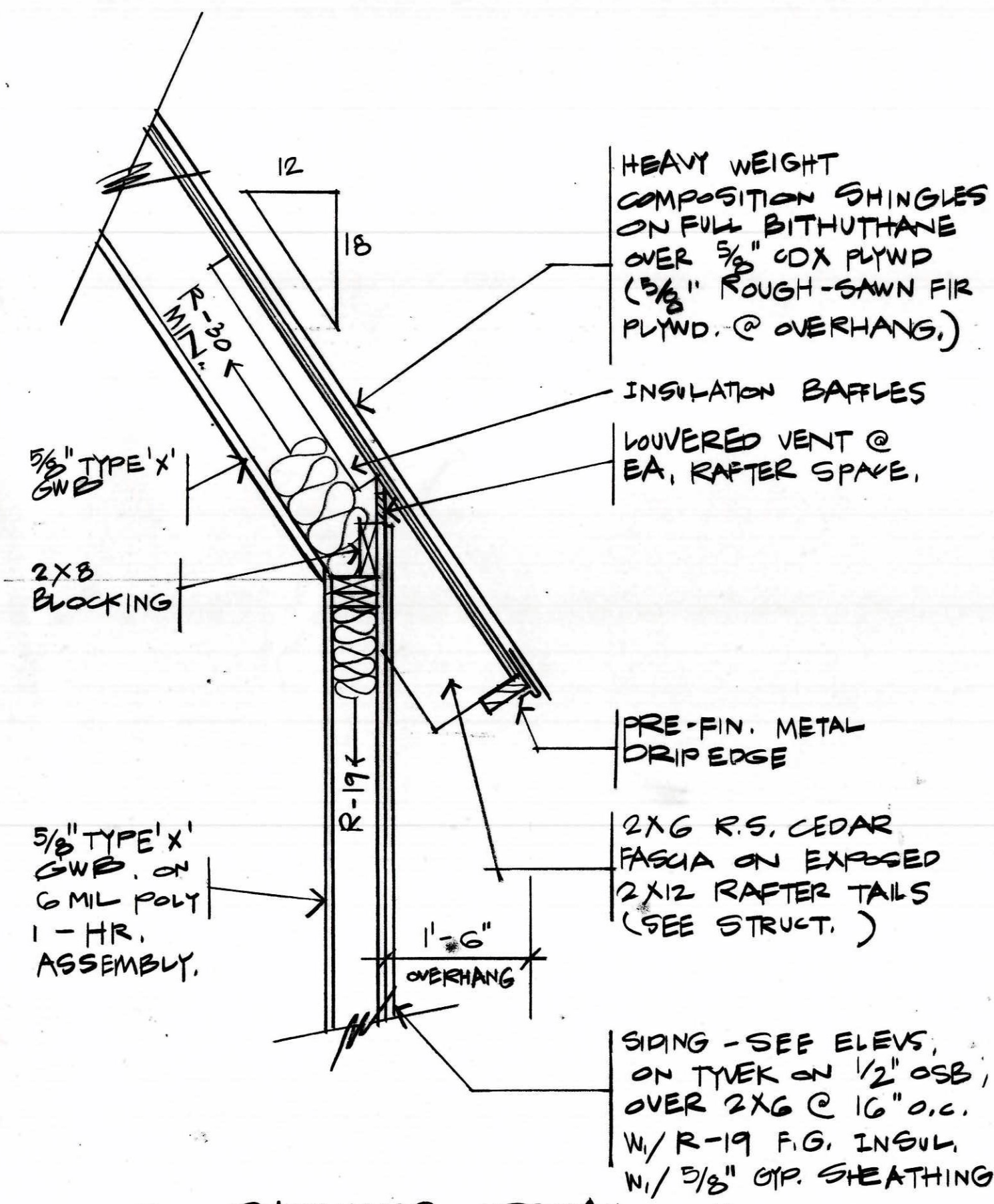
03-016

**SECTION H**  
 SCALE: 1/4" = 1'-0"

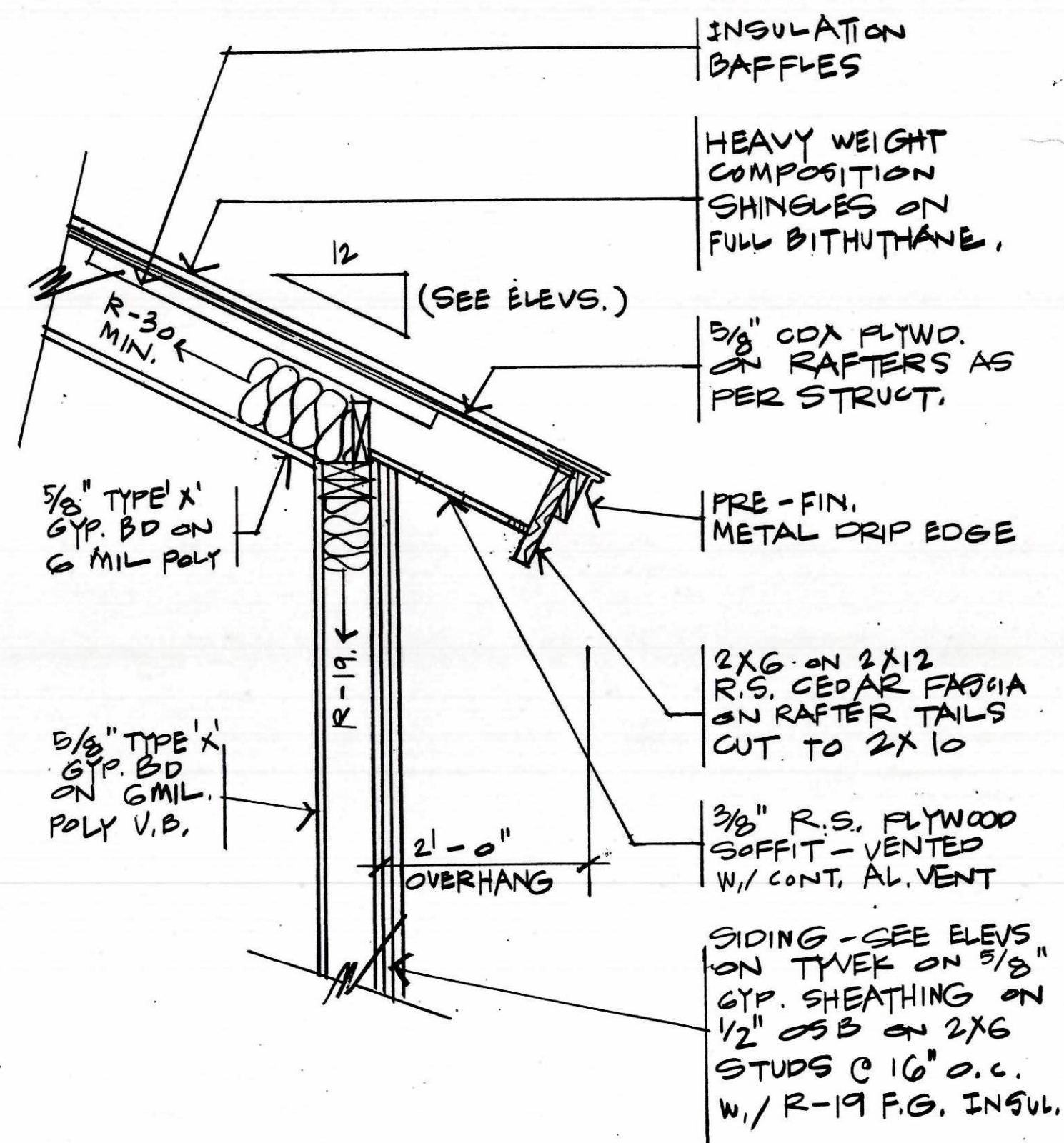
**DRAKE LANDING**  
 BUILDING B  
 Frisco, Colorado

DATE	11-18-02
SCALE	
DRAWN BY	MS
JOB NO.	2001
SHEET	A4.4

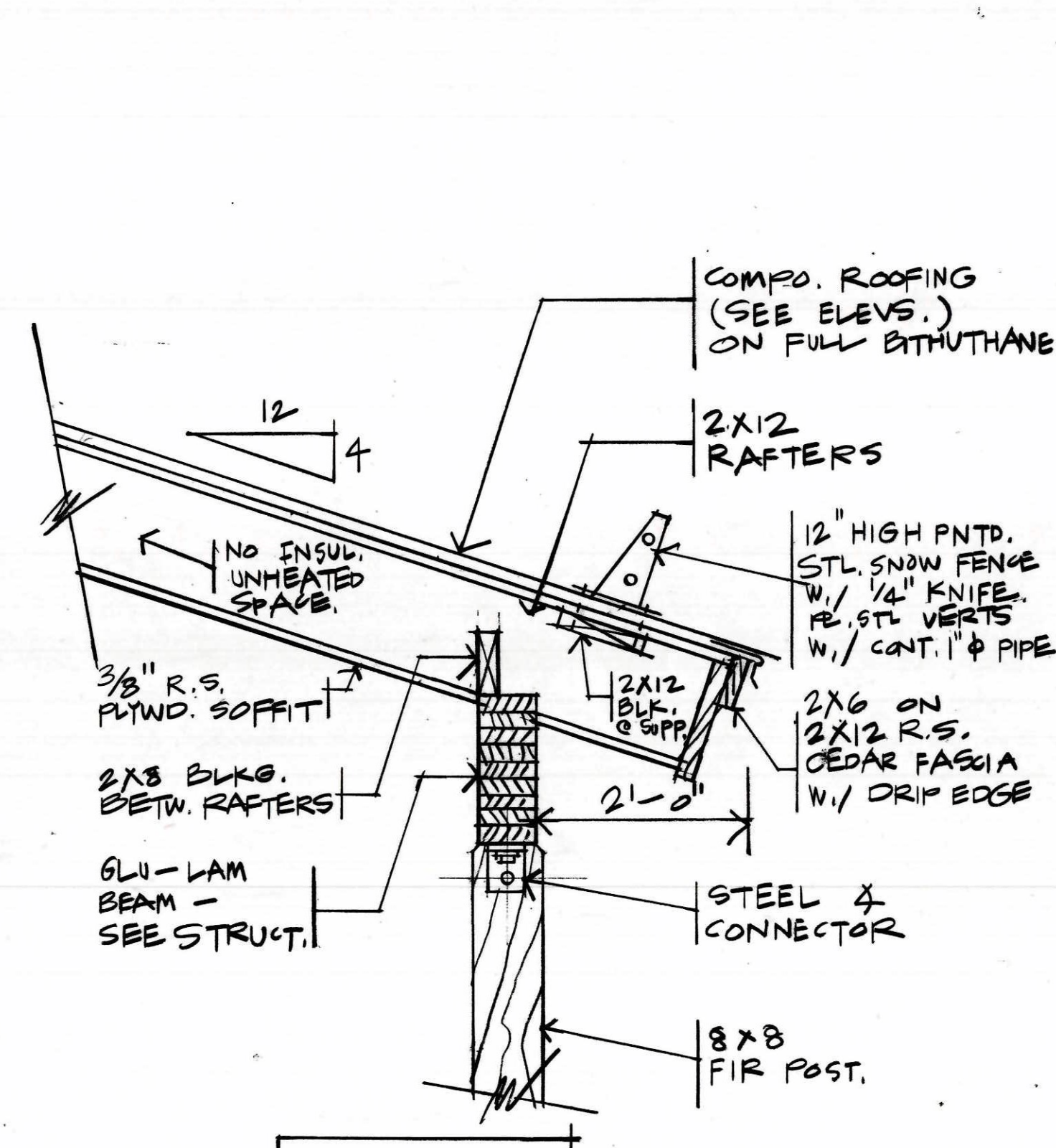




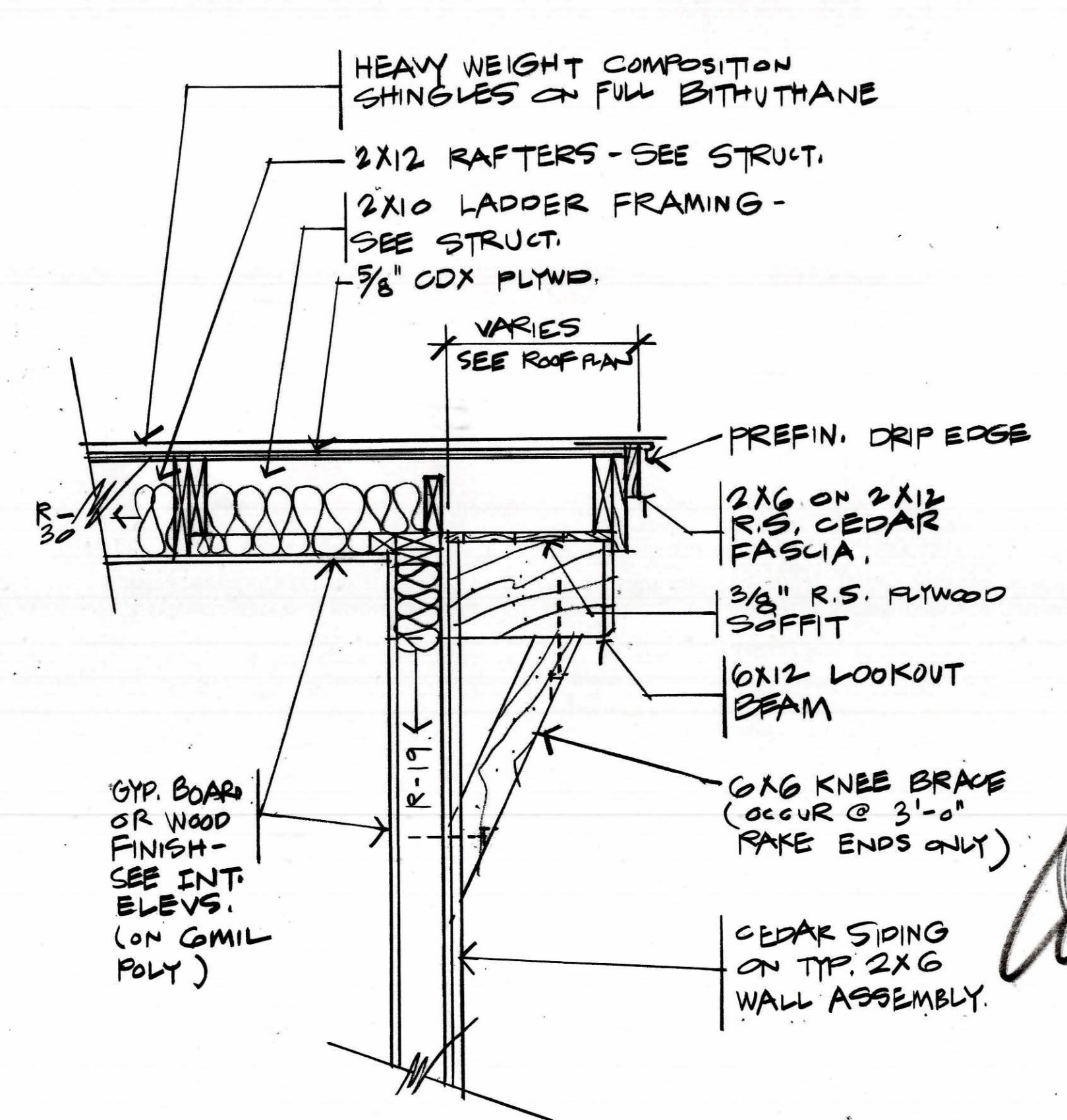
1 OVERHANG DETAIL. BLDG. A  
3/4" = 1' - 0"



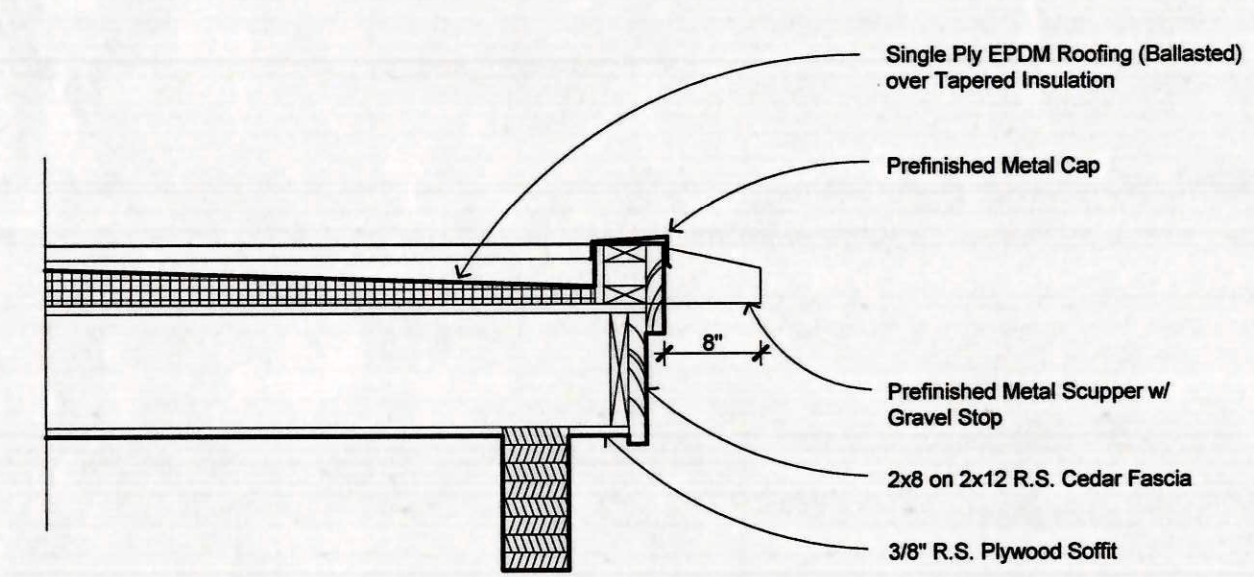
2 OVERHANG DETAIL  
3/4" = 1' - 0"



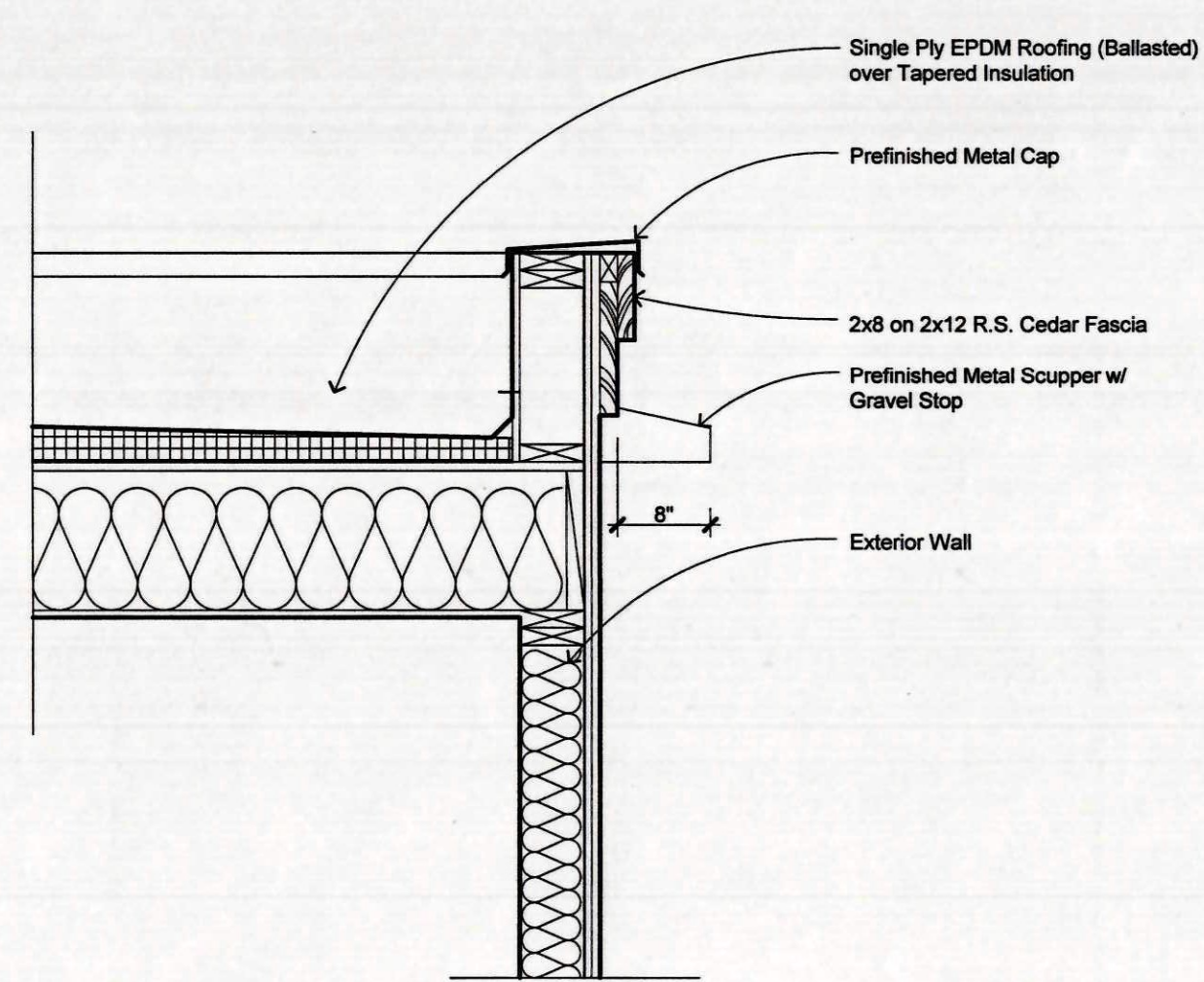
3 OVERHANG DETAIL.  
3/4" = 1' - 0"



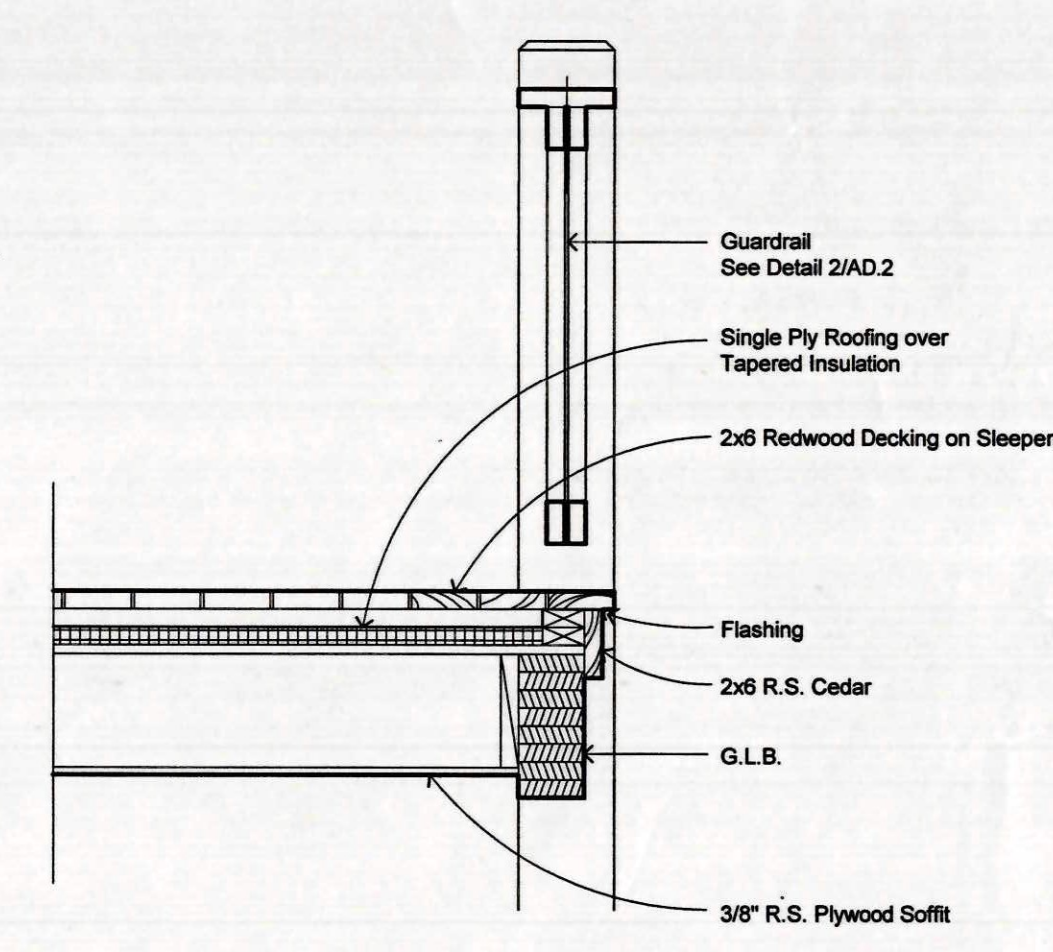
4 RAKE END DETAIL.  
3/4" = 1' - 0"



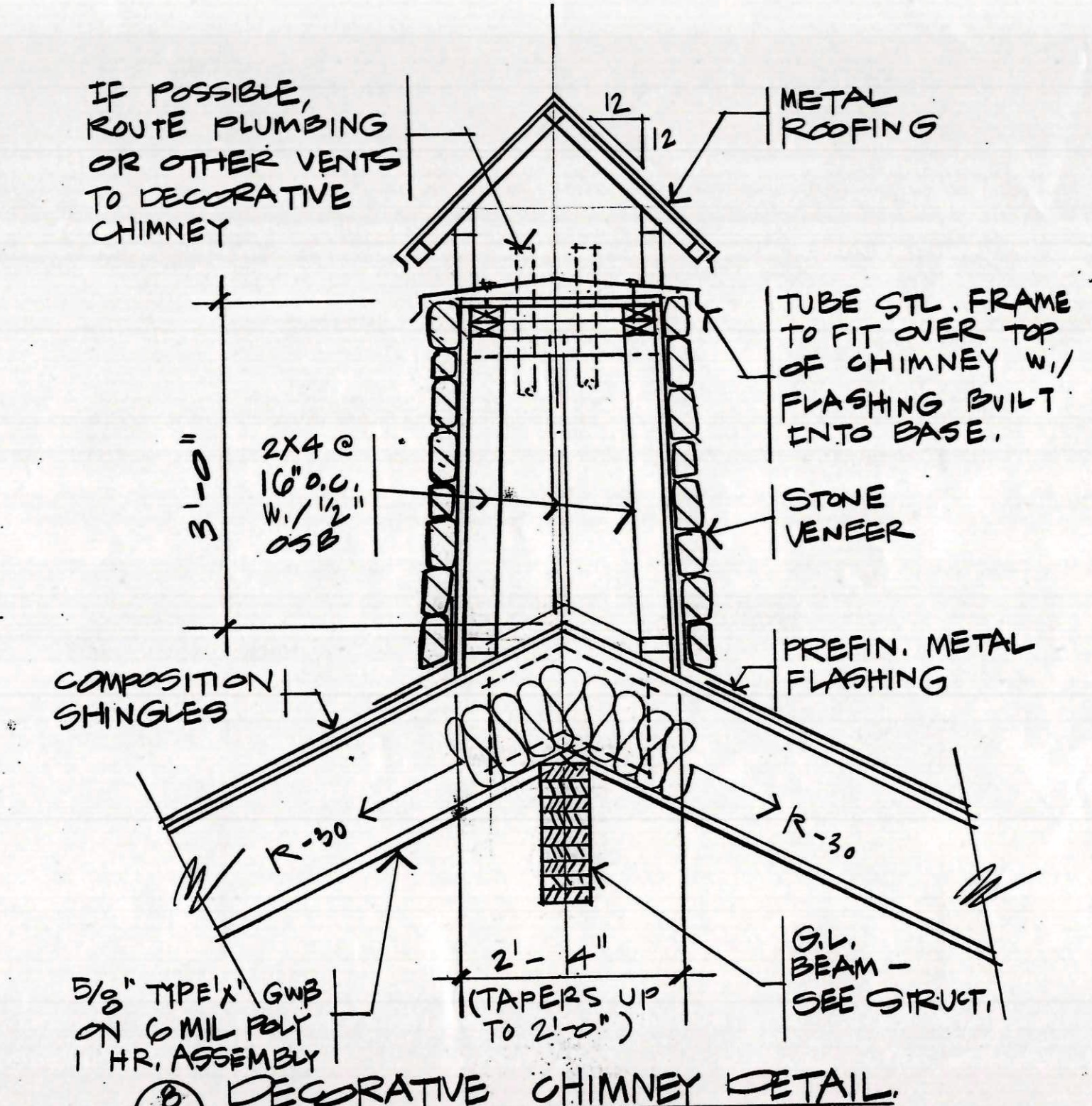
5 ROOF EDGE DETAIL  
3/4" = 1'-0"



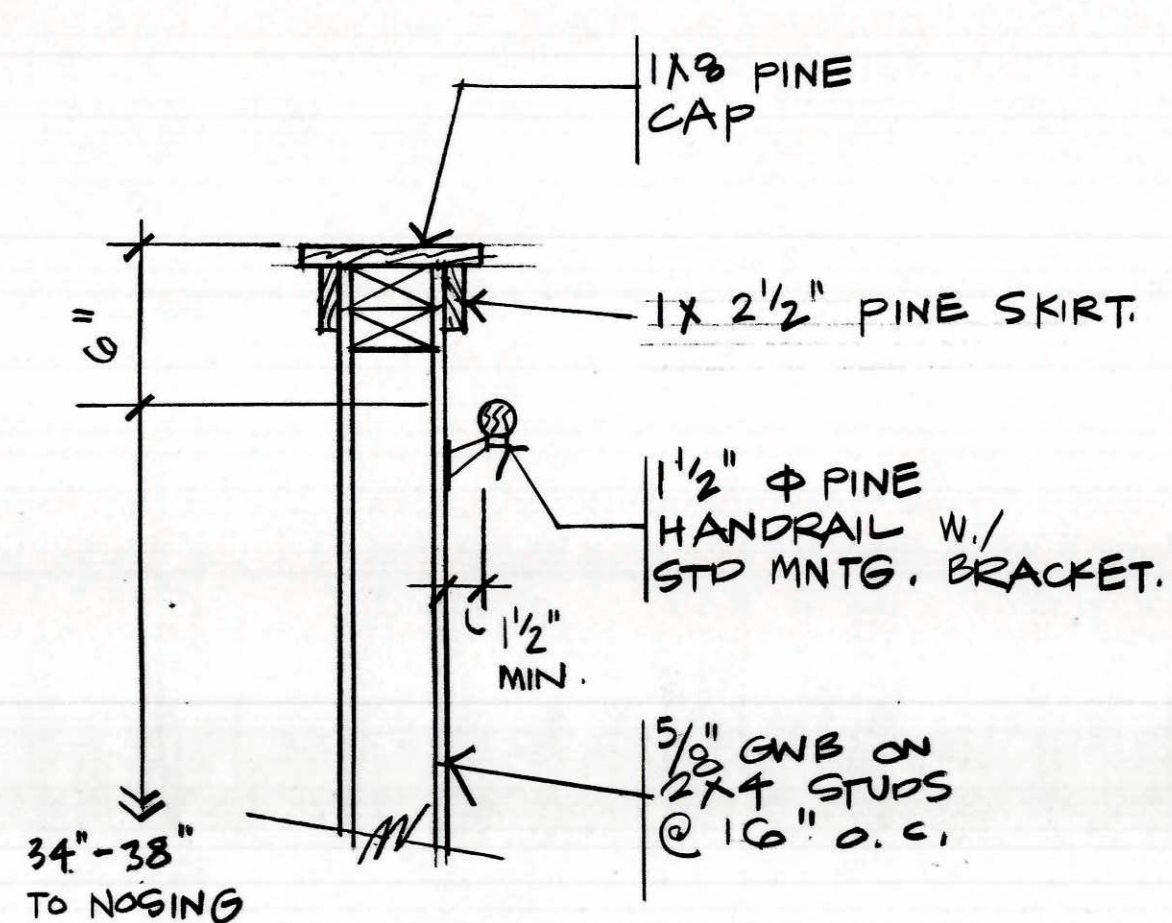
6 ROOF EDGE DETAIL  
3/4" = 1'-0"



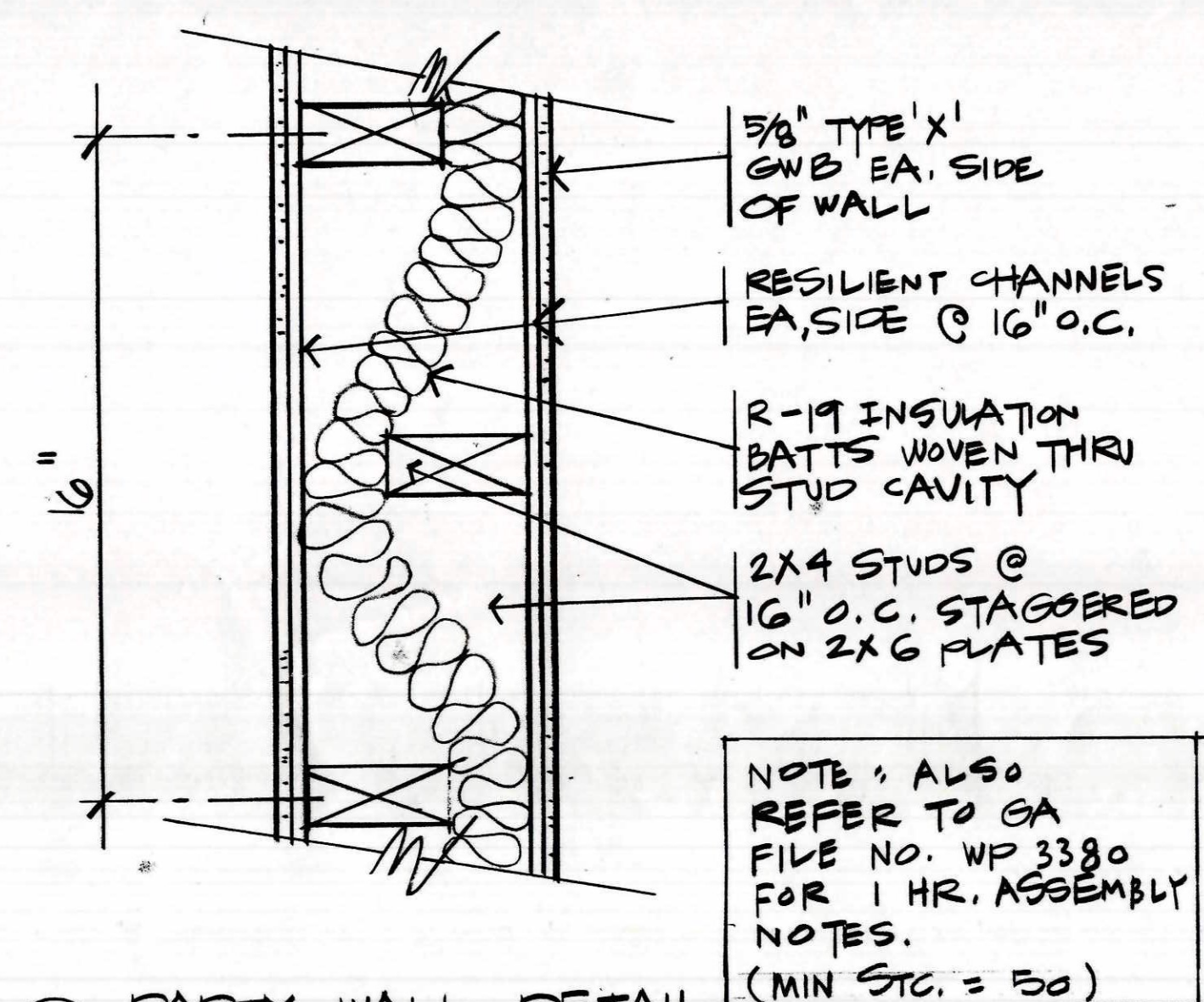
7 DECK DETAIL  
3/4" = 1'-0"



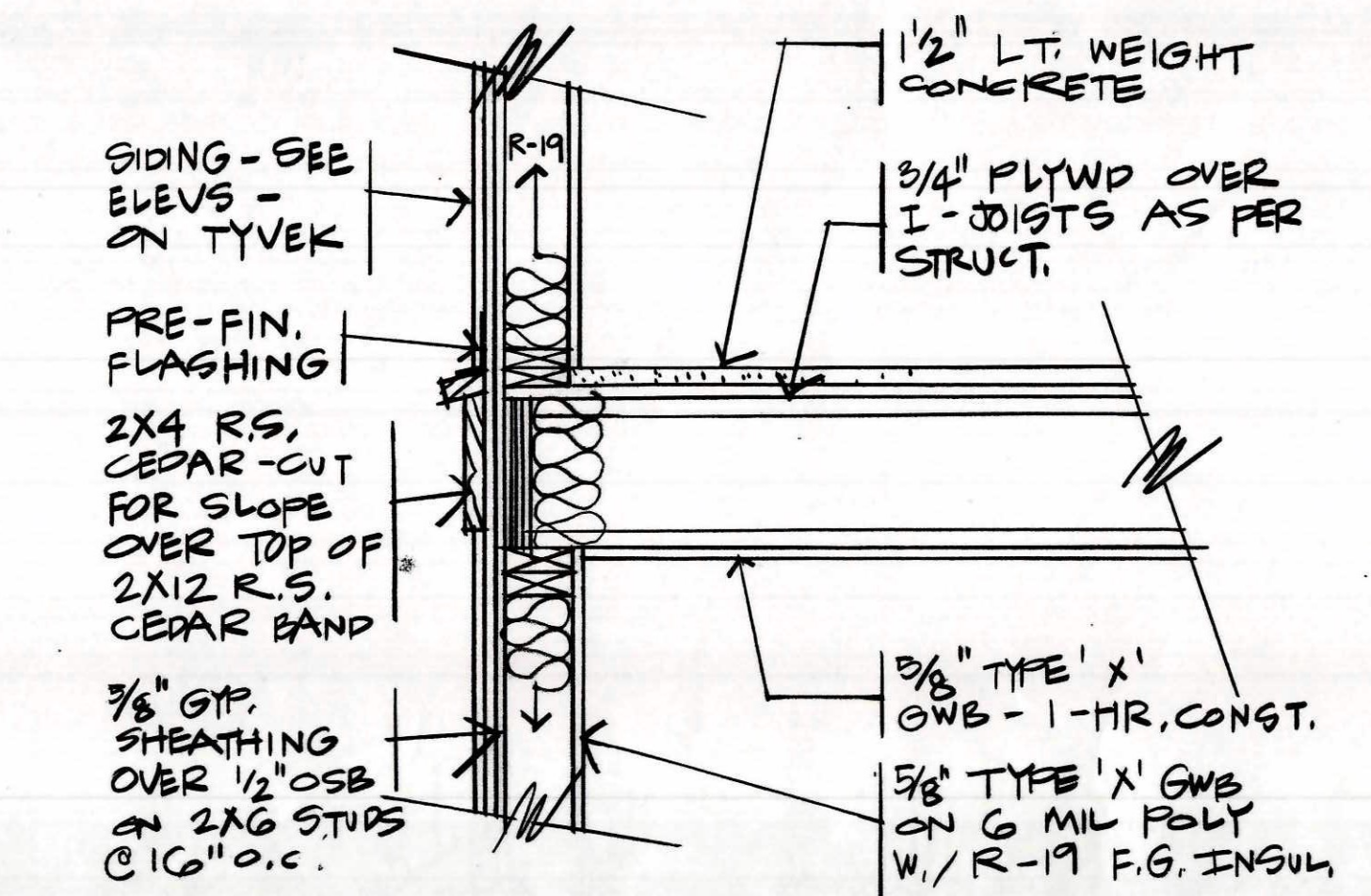
8 DECORATIVE CHIMNEY DETAIL.  
3/4" = 1' - 0"



10 STAIR RAILING DETAIL.  
1 1/2" = 1' - 0"

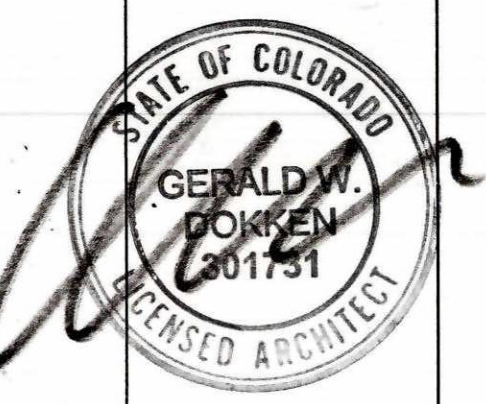


11 PARTY WALL DETAIL.  
1 1/2" = 1' - 0"



12 FLOOR EDGE DETAIL.  
3/4" = 1' - 0"

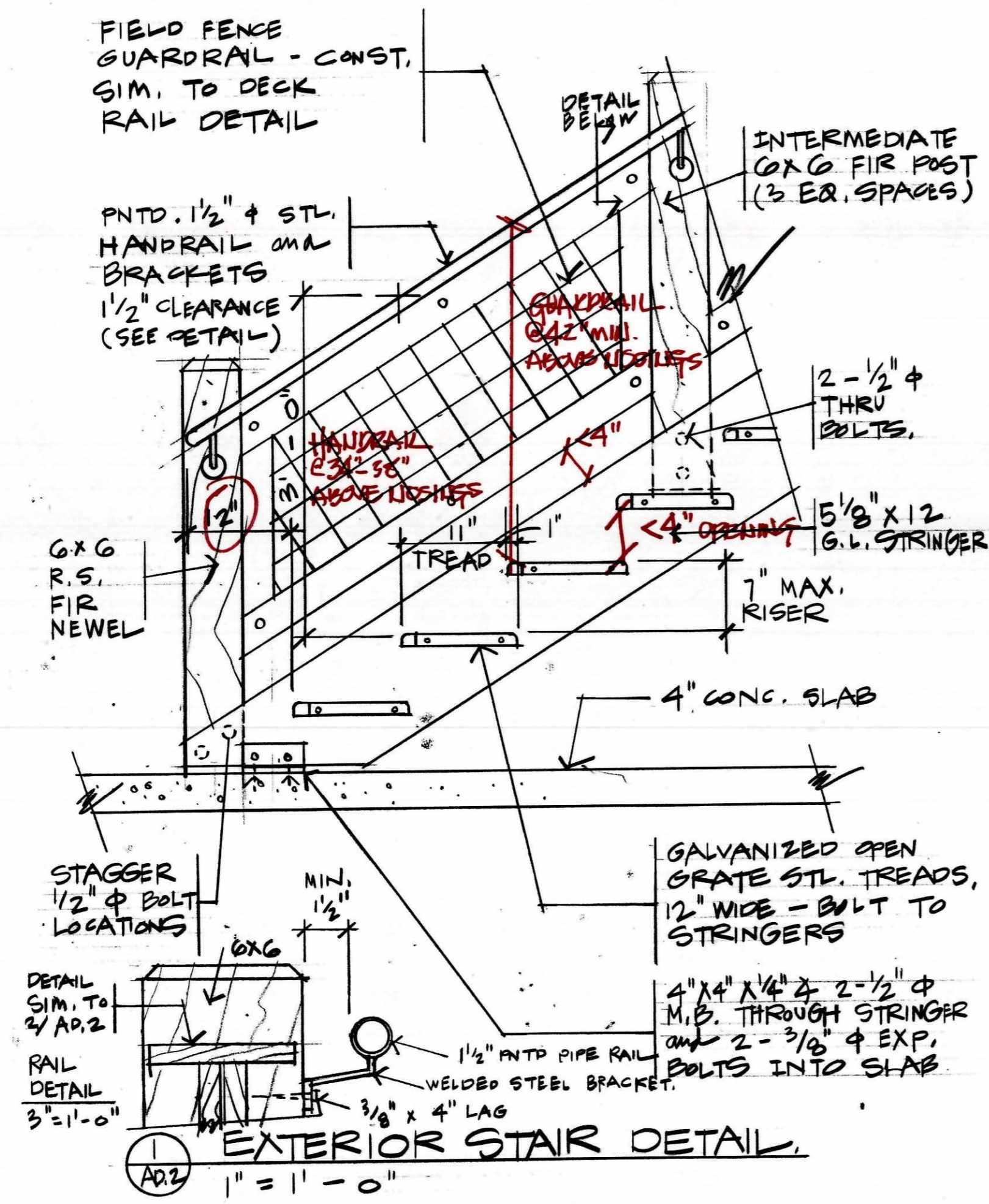
MARKETPLACE ARCHITECTS  
707 East Arapahoe Trail  
PO Box 6318 Denver, CO 80215  
303.444.8888 Fax 303.262.2655  
www.marketplace.com



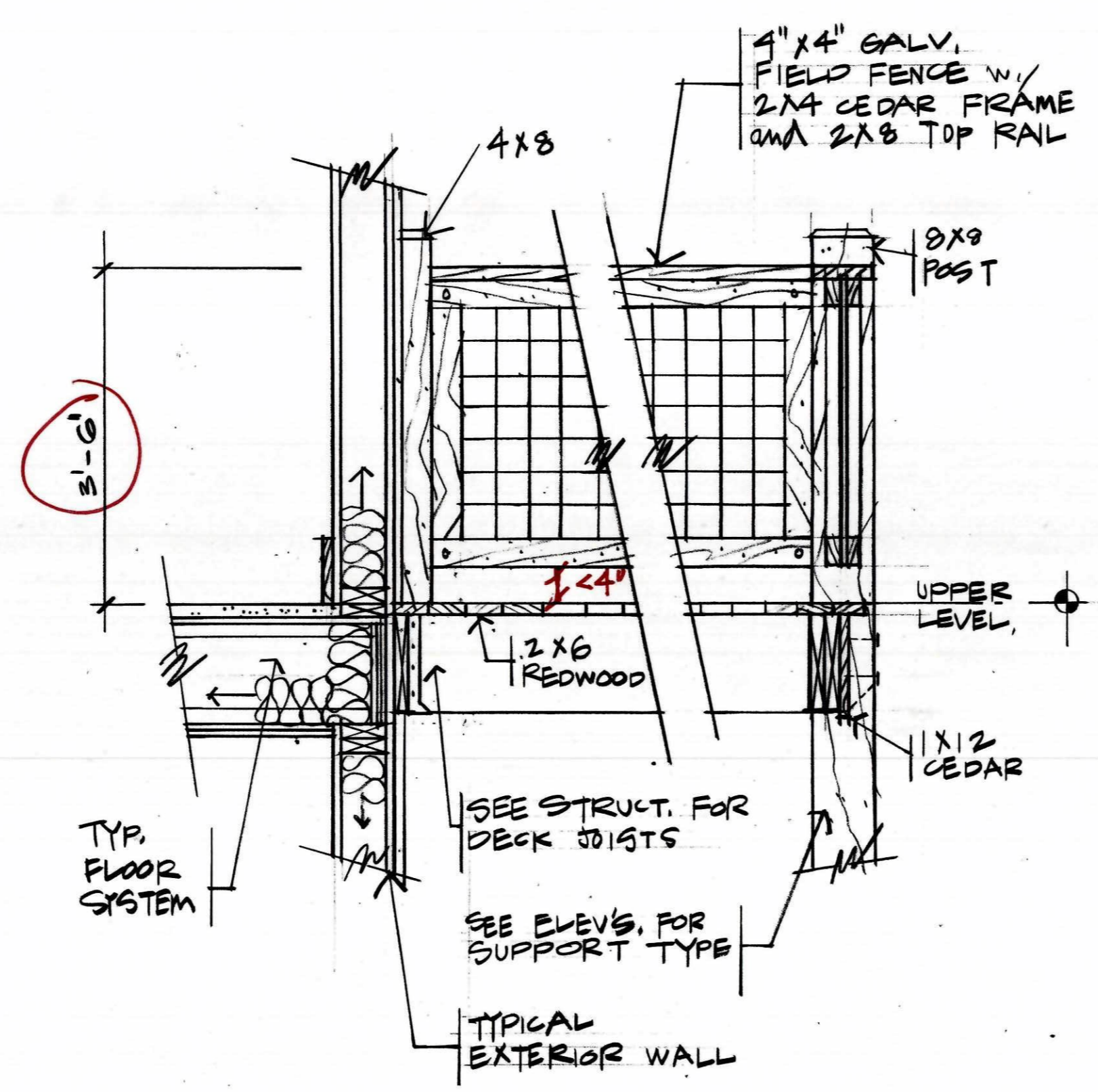
03-016

DRAKE LANDING  
BUILDING B  
Frisco, Colorado

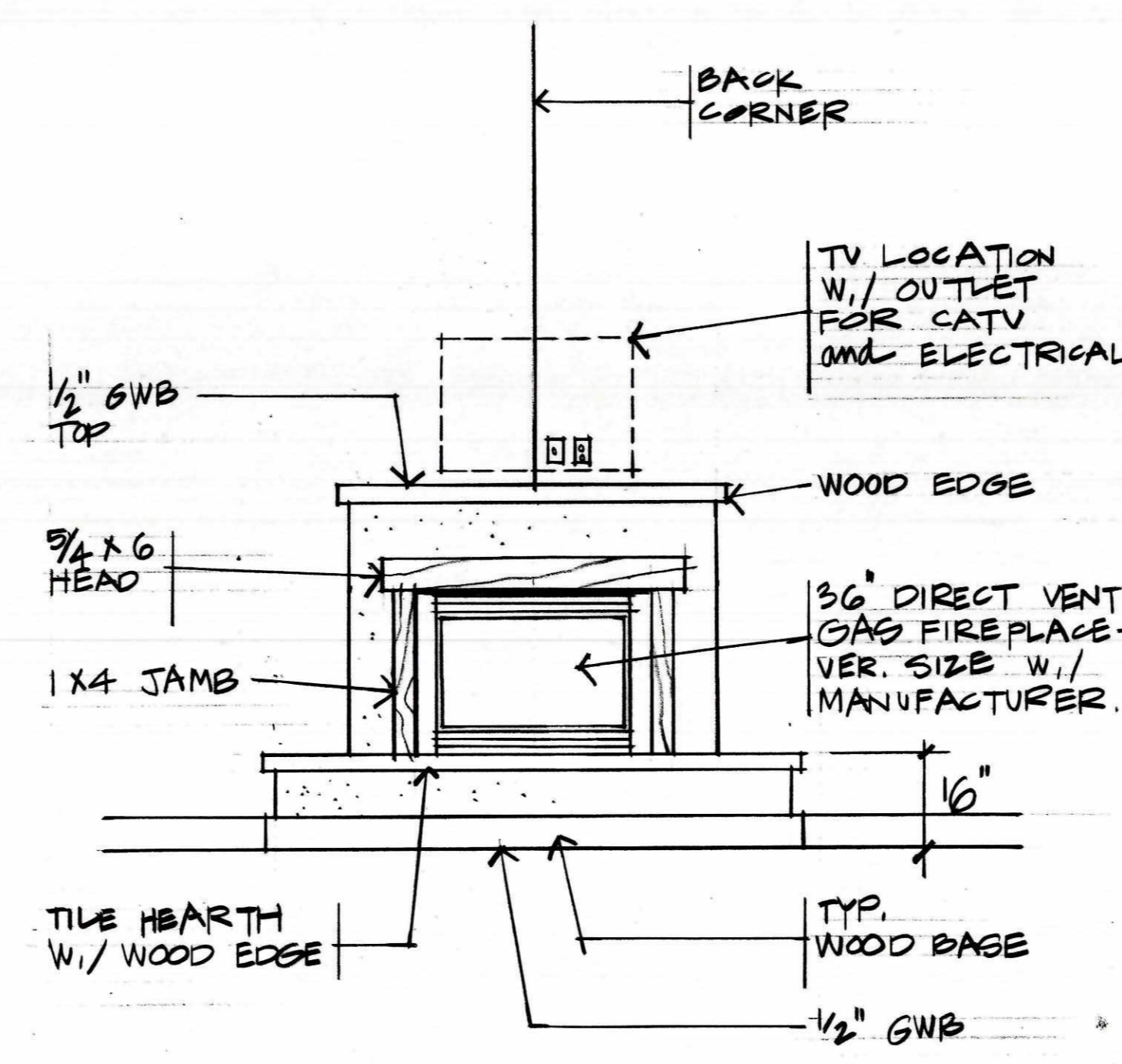
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SCALE:  
DRAWN BY: MS  
CHECKED:  
SHEET: AD.1



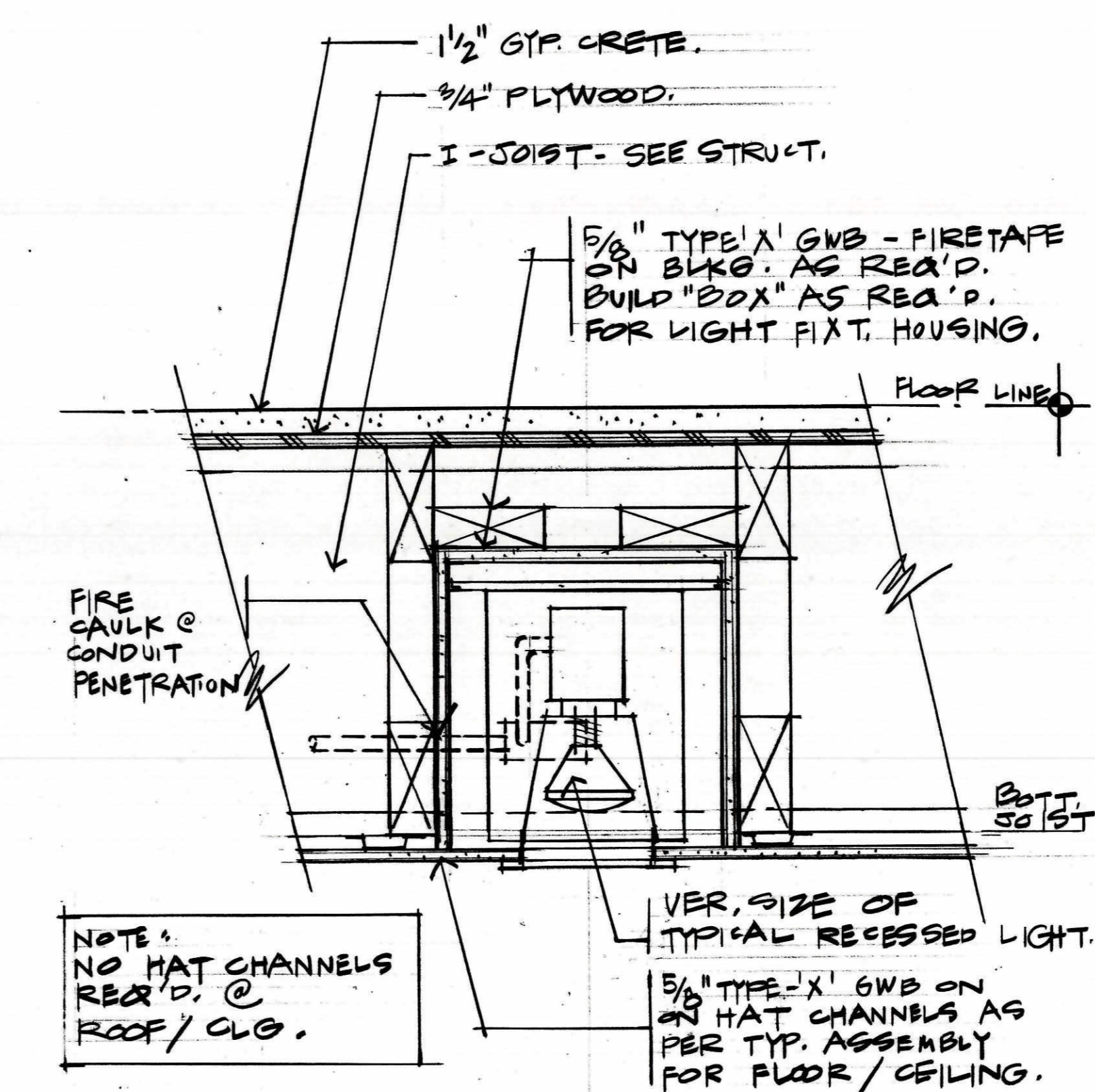
1 EXTERIOR STAIR DETAIL  
1" = 1'-0"



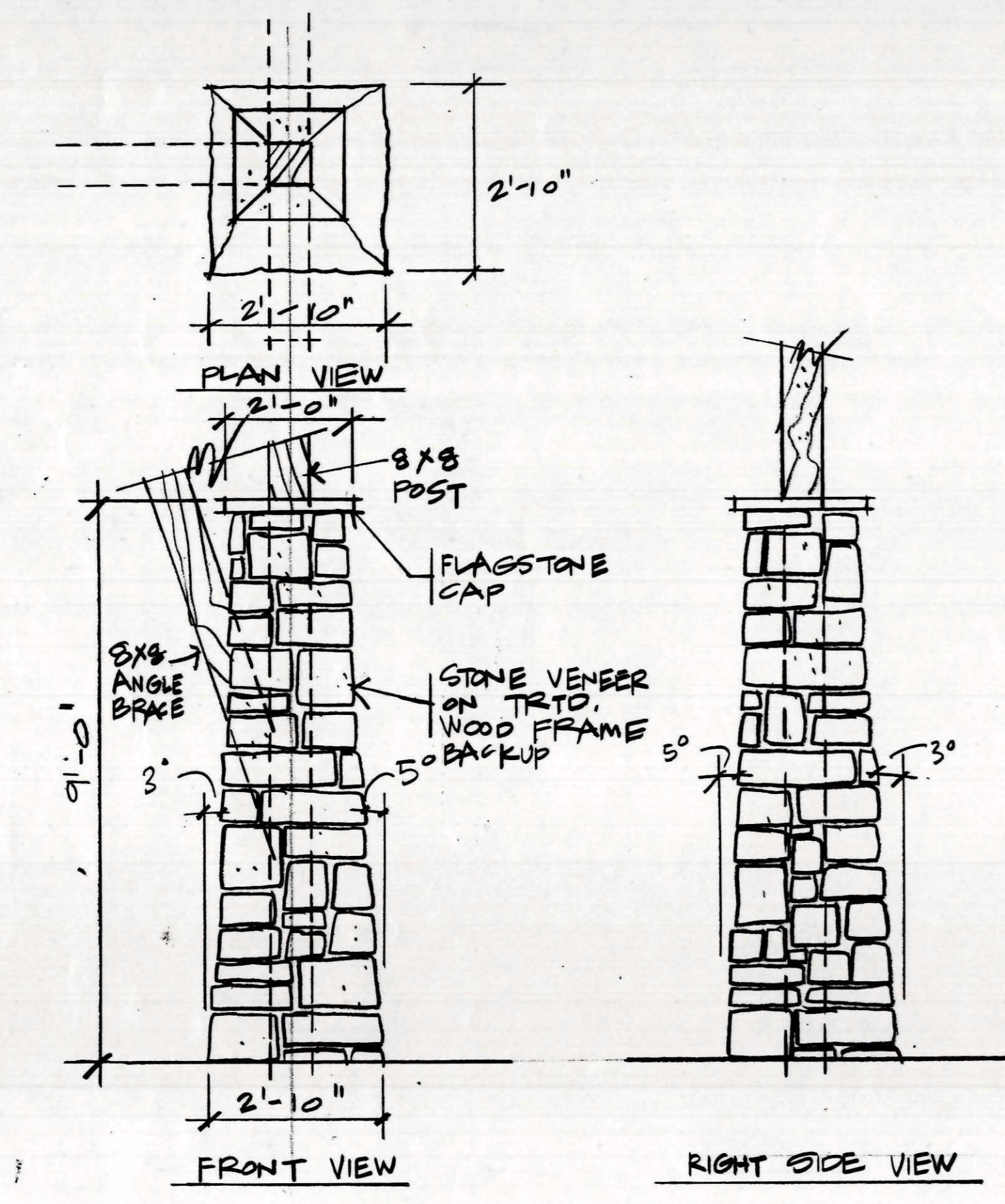
2 DECK RAILING DETAIL  
3/4" = 1'-0"



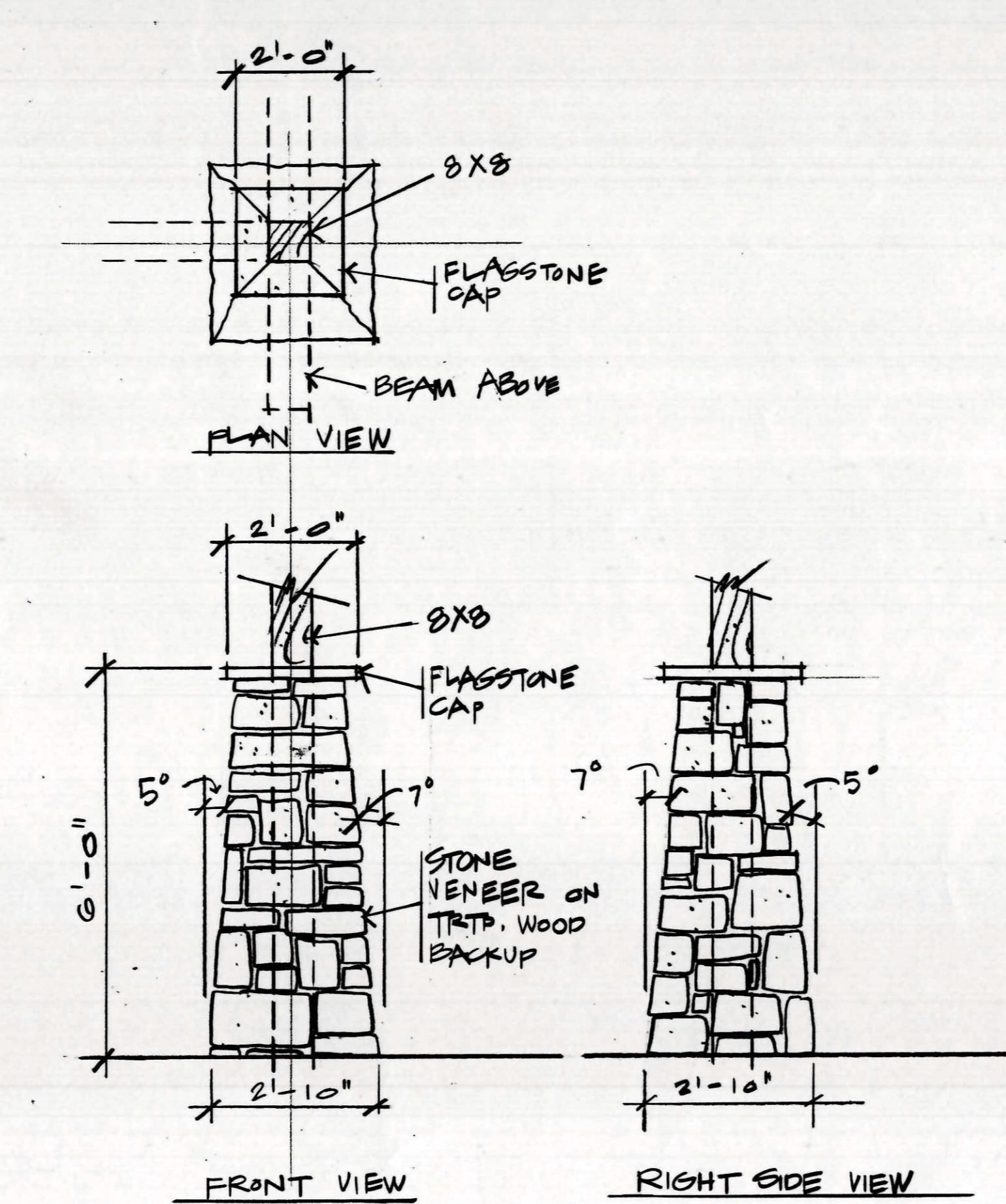
3 FIREPLACE ELEVATION  
1/2" = 1'-0"  
(OPTION A)



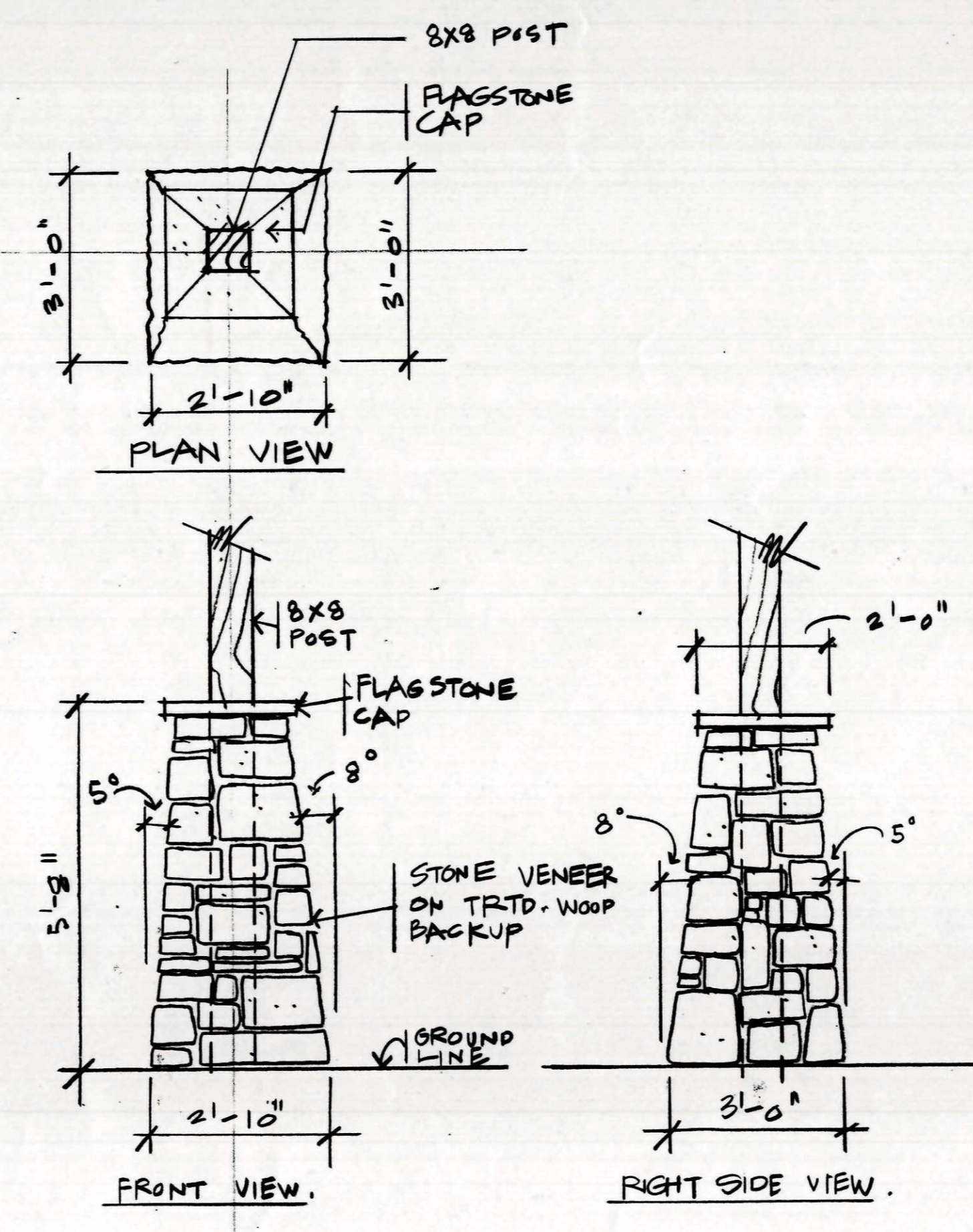
4 LIGHT FIXTURE @ 1 HR. ASSEMBLY  
3/4" = 1'-0"



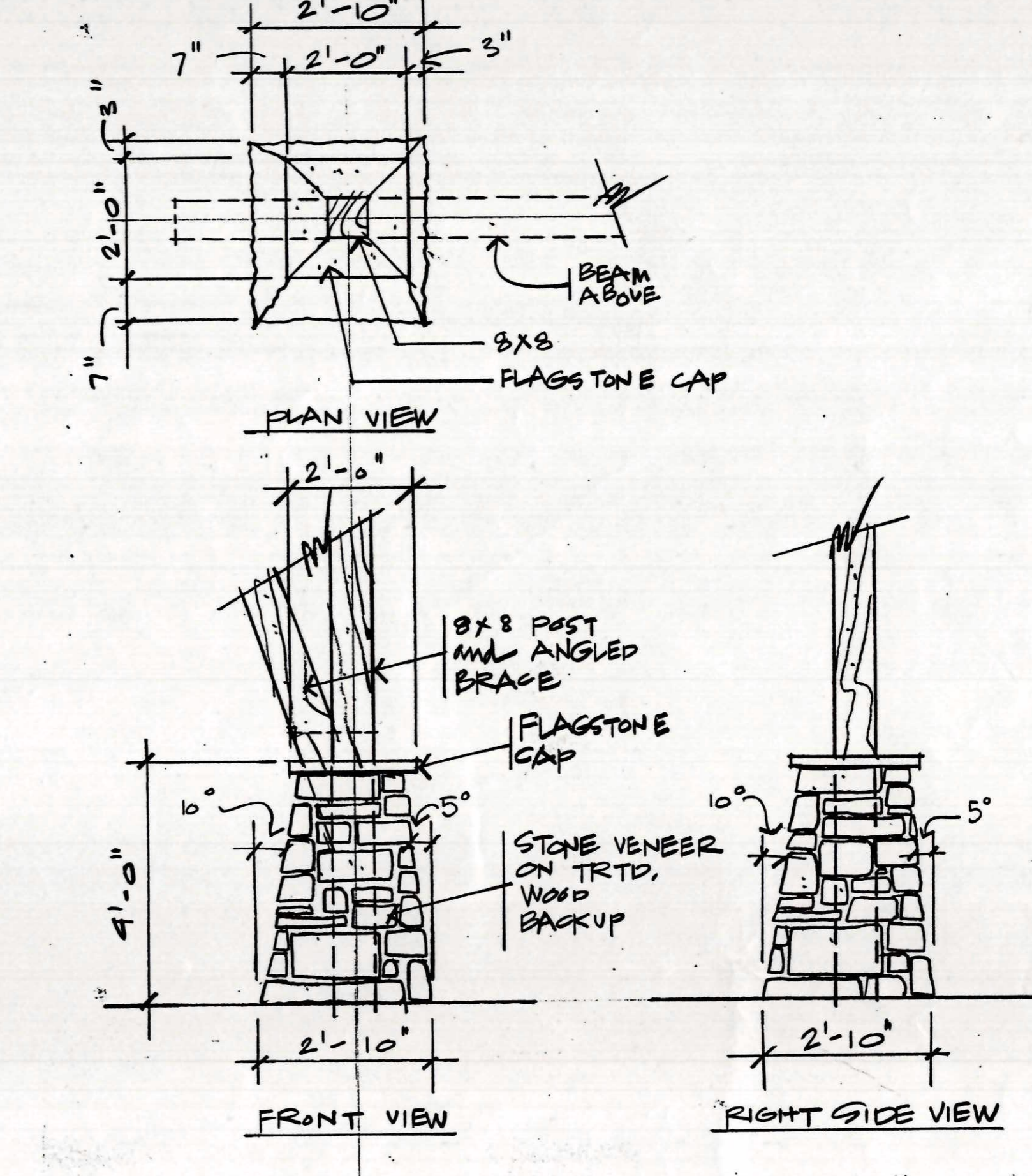
5 STONE BASE DETAIL  
1/2" = 1'-0"



6 STONE BASE DETAIL  
1/2" = 1'-0"



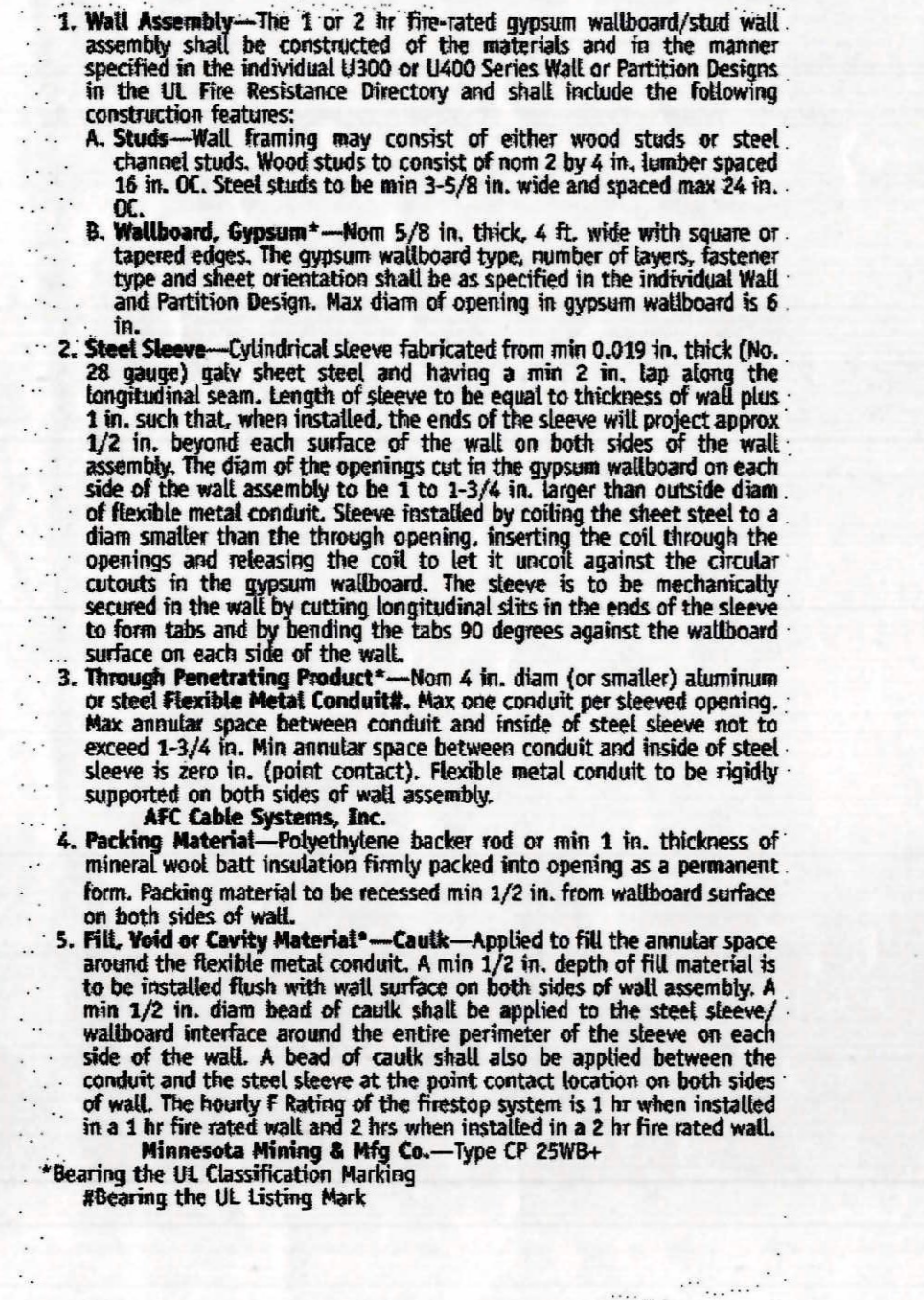
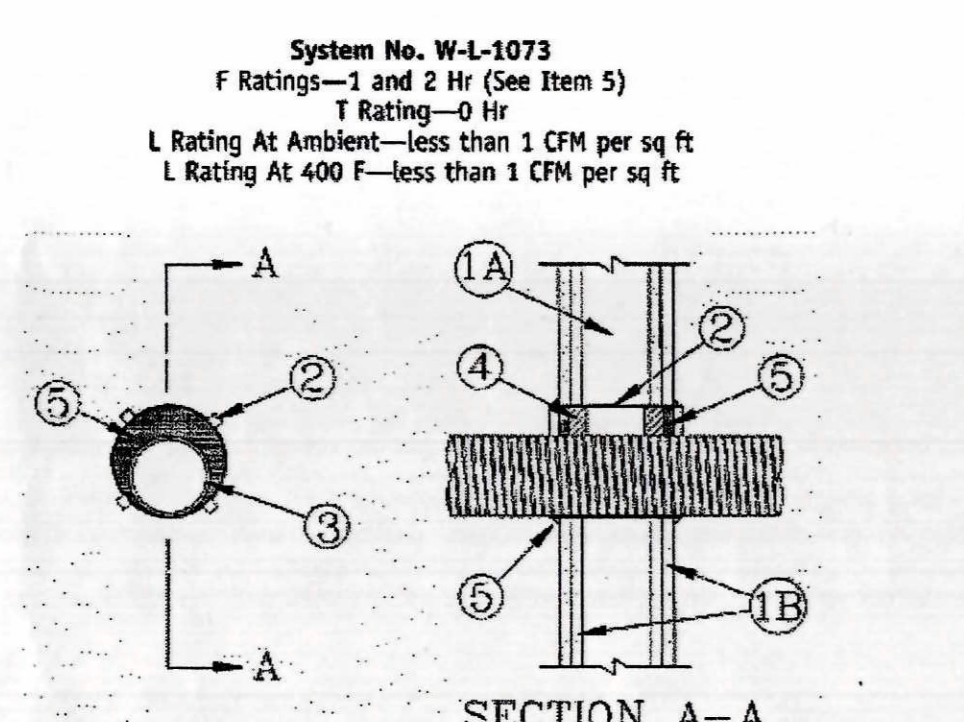
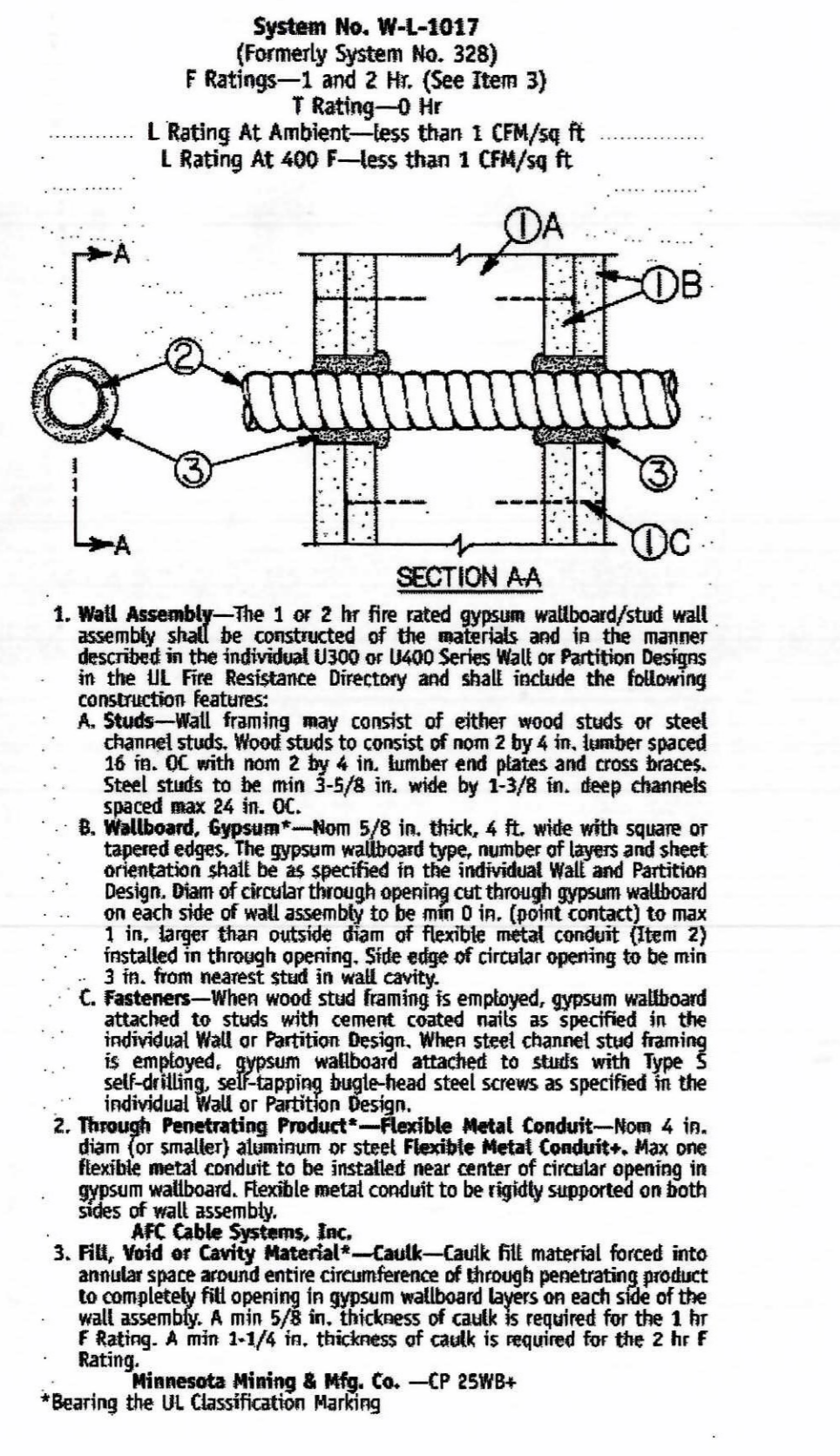
7 STONE BASE DETAIL  
1/2" = 1'-0"



8 STONE BASE DETAIL  
1/2" = 1'-0"

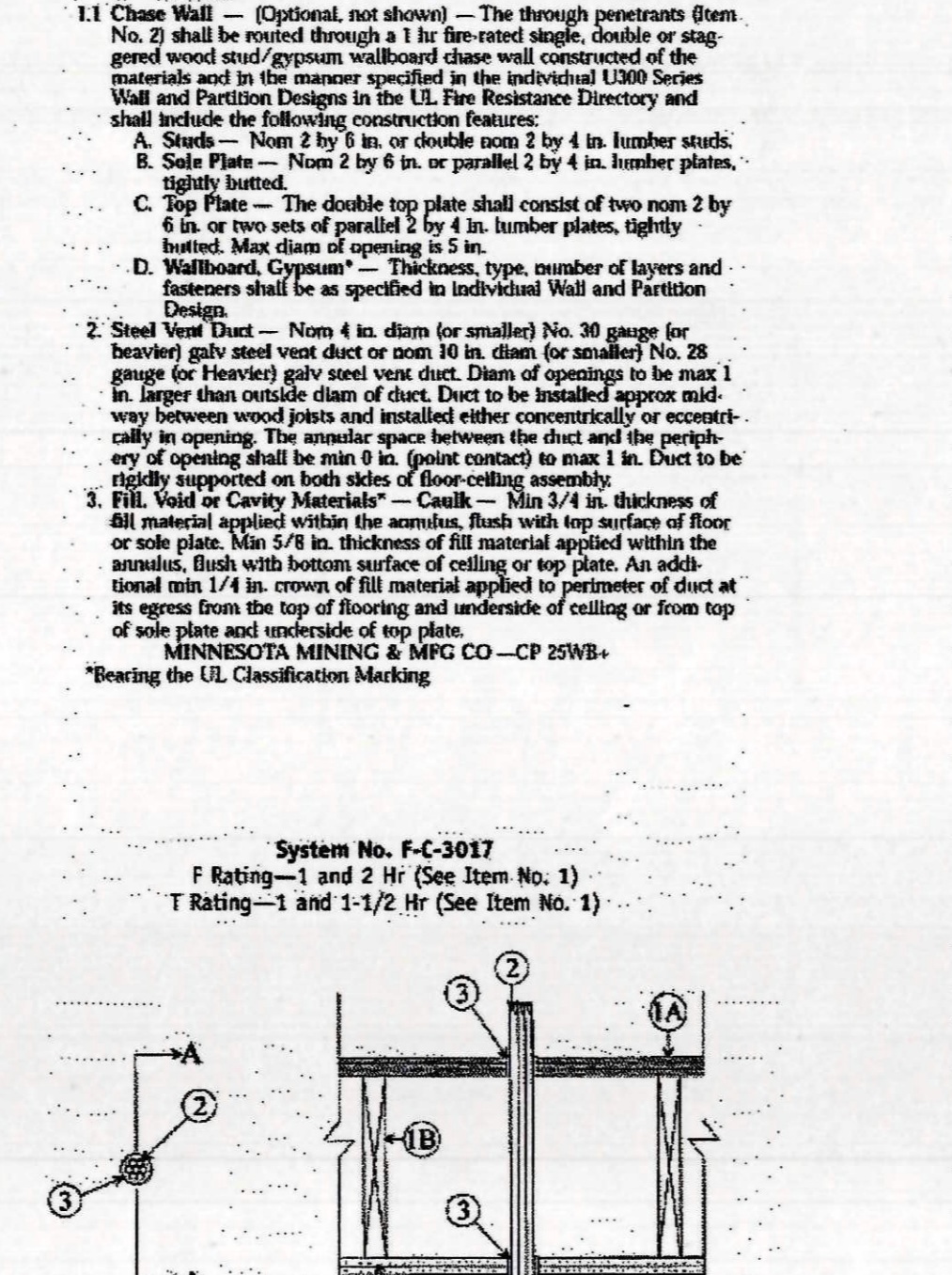
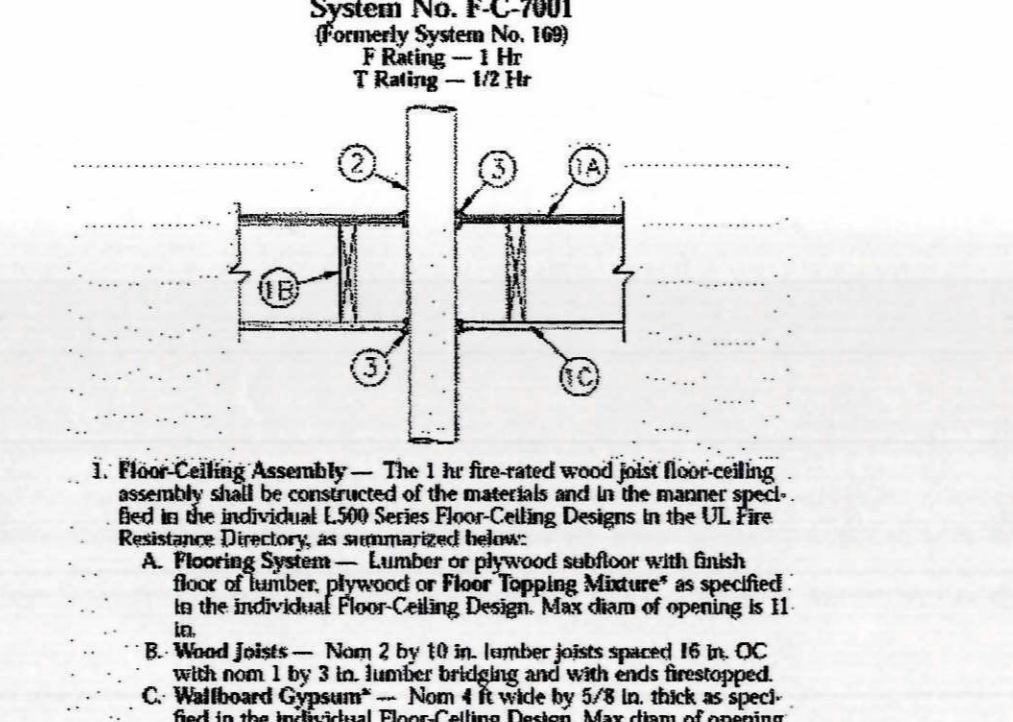
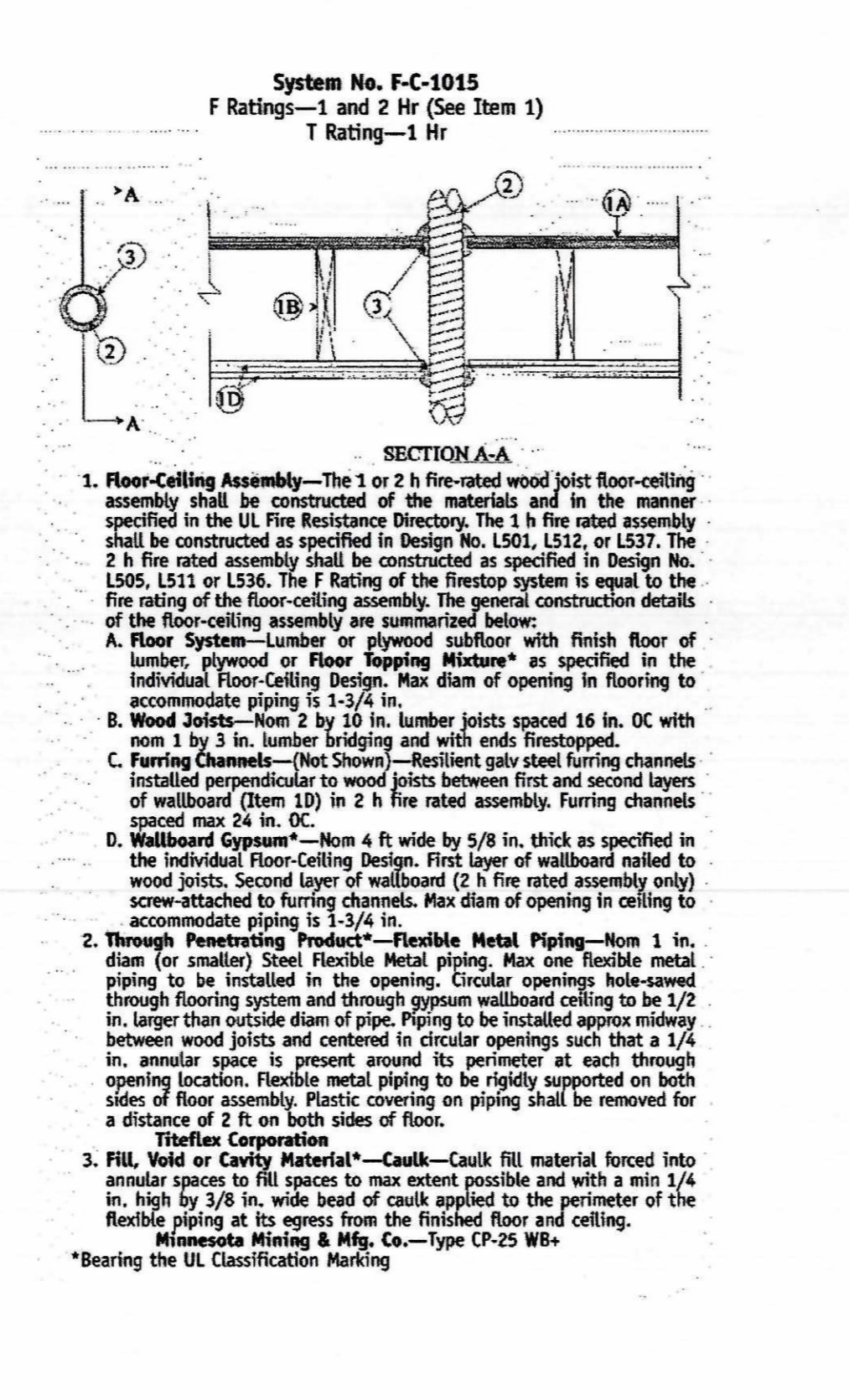
03-016

WALL FIRESTOP SYSTEMS



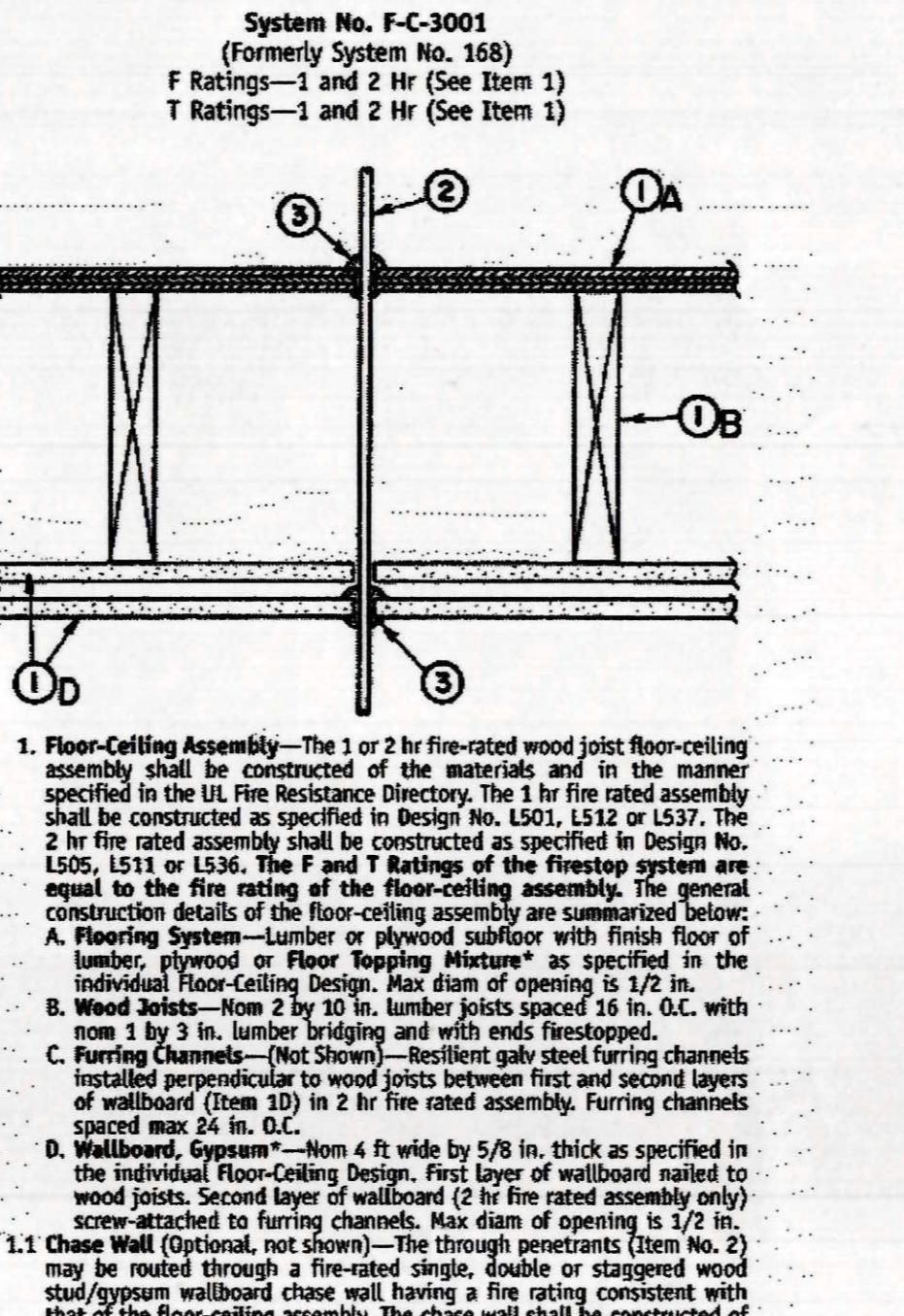
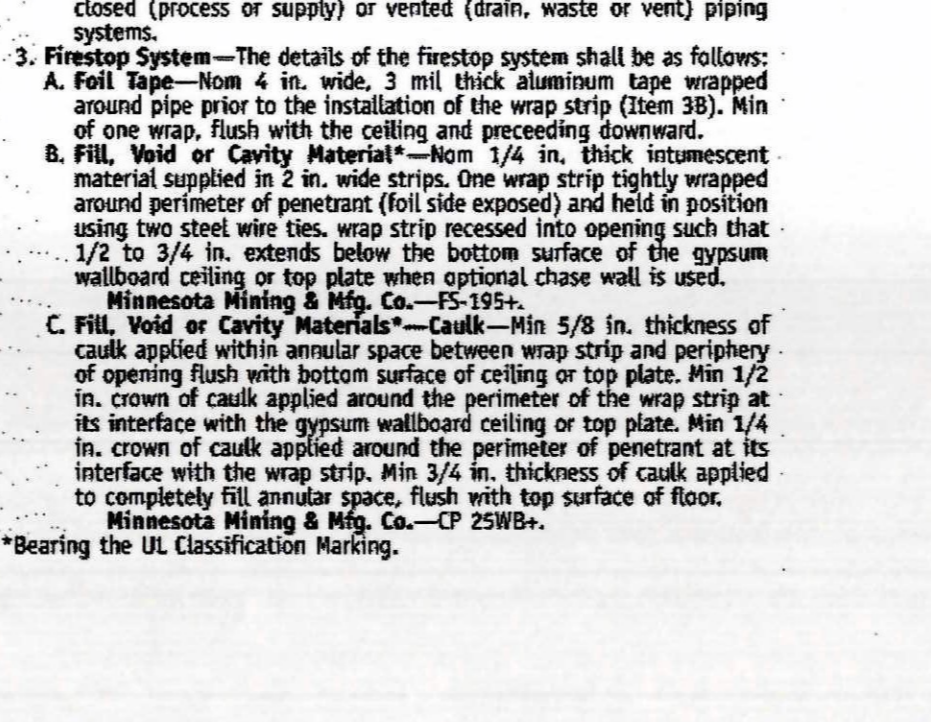
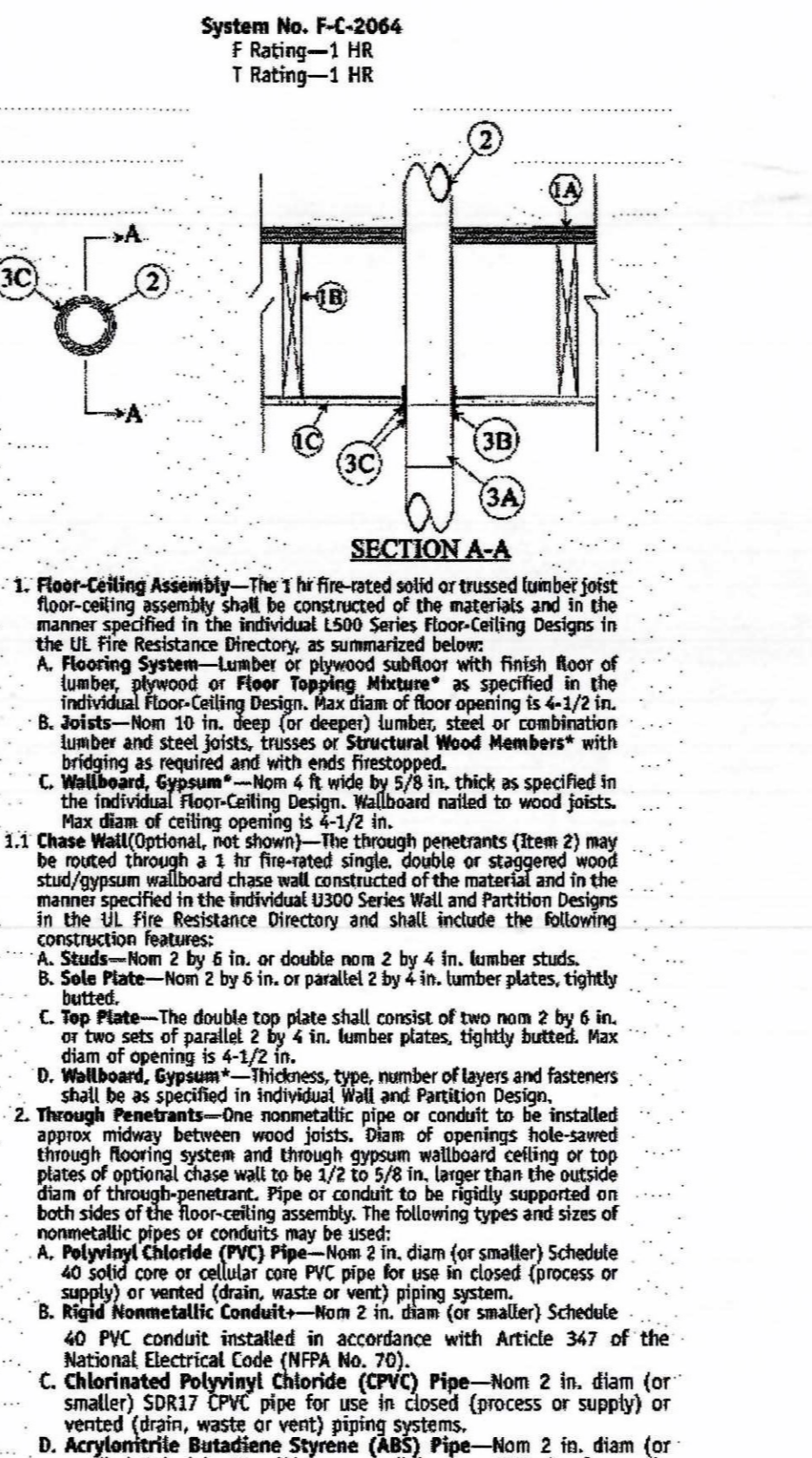
System No. W-L-1017, System No. W-L-1073, System No. W-L-2146. Includes ratings and detailed construction instructions for wall firestop systems.

FLOOR / CEILING FIRESTOP SYSTEMS



System No. F-C-1015, System No. F-C-2039, System No. F-C-3001. Includes ratings and detailed construction instructions for floor/ceiling firestop systems.

FLOOR / CEILING FIRESTOP SYSTEMS



System No. F-C-1015, System No. F-C-2039, System No. F-C-3001. Includes ratings and detailed construction instructions for floor/ceiling firestop systems.

FIRE RESISTIVE COLUMNS

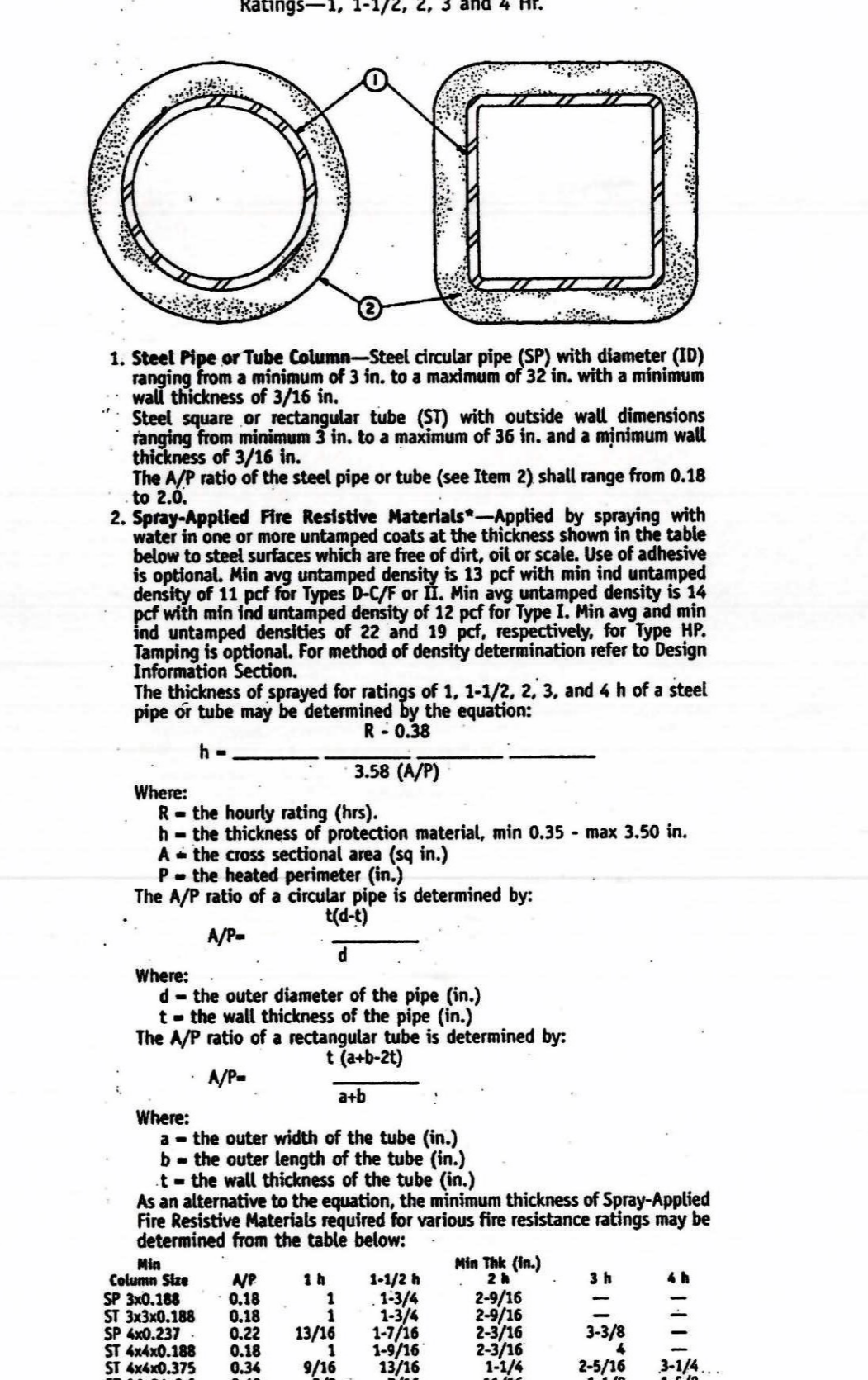


Table with 4 columns (MFR, H, D, R) and 4 rows of data for Fire Resistive Columns. Includes notes on material thickness and application.

FIRE RESISTIVE BEAMS

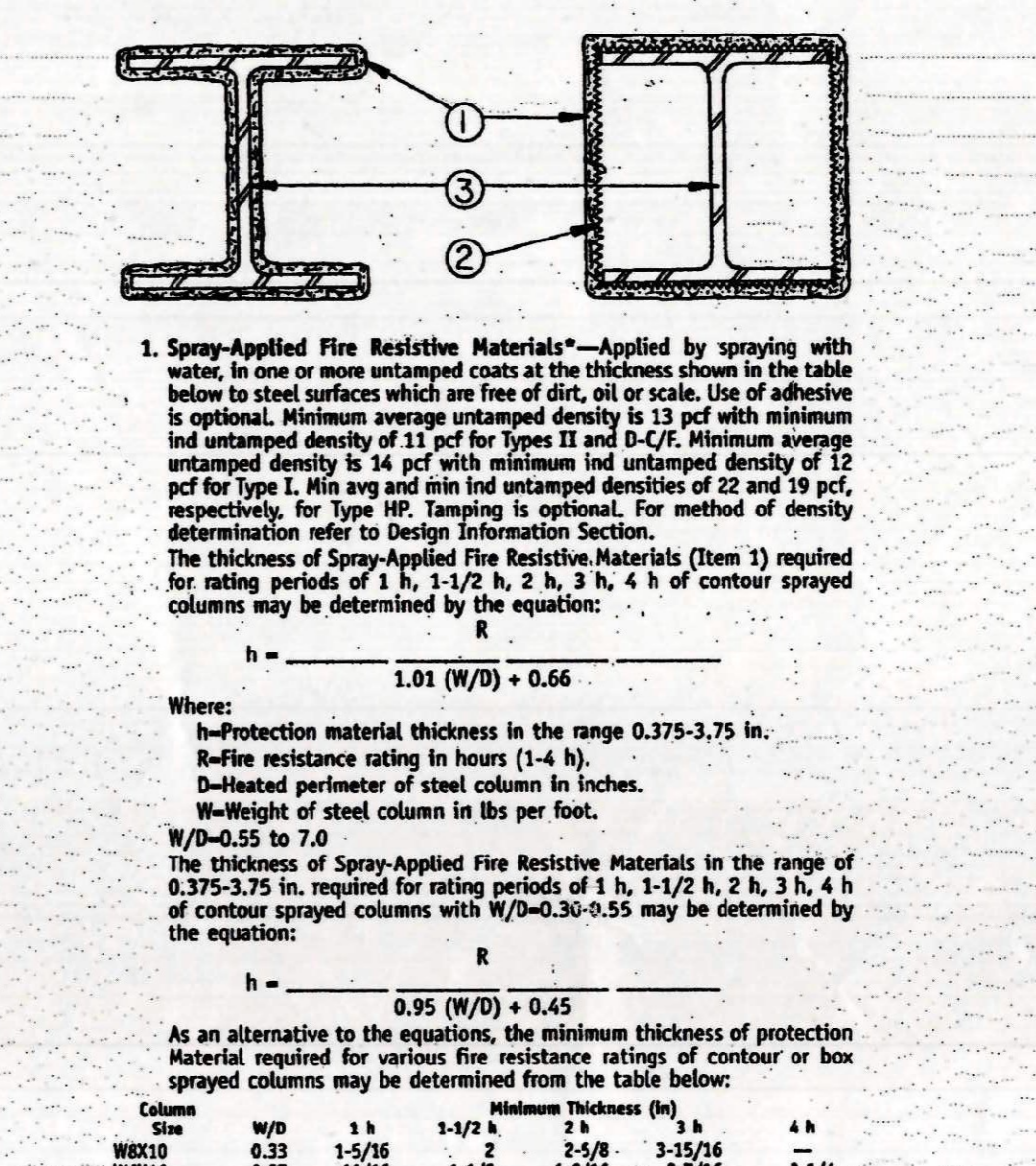
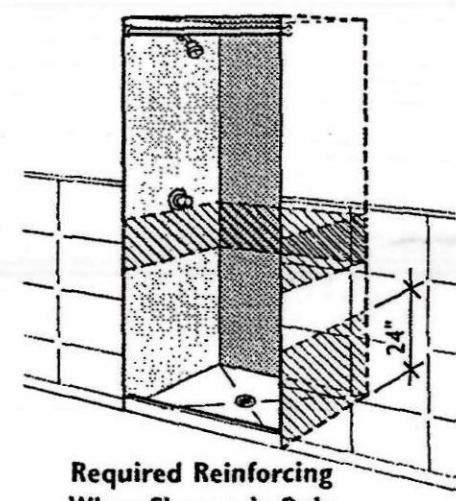
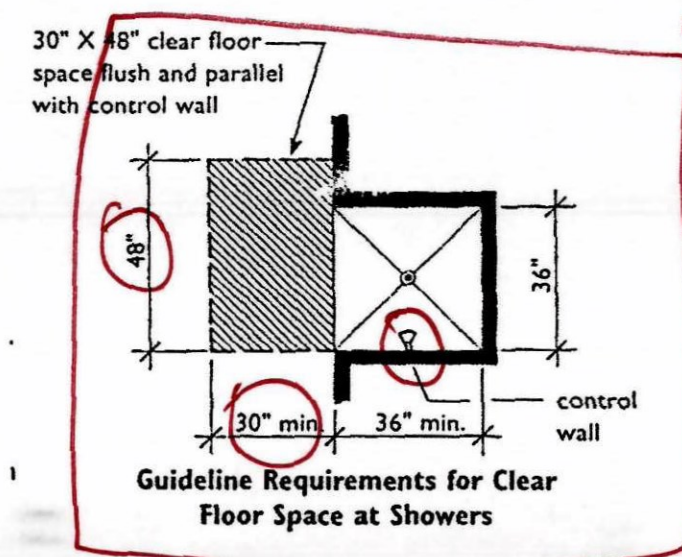


Table with 4 columns (MFR, H, D, R) and 4 rows of data for Fire Resistive Beams. Includes notes on material thickness and application.

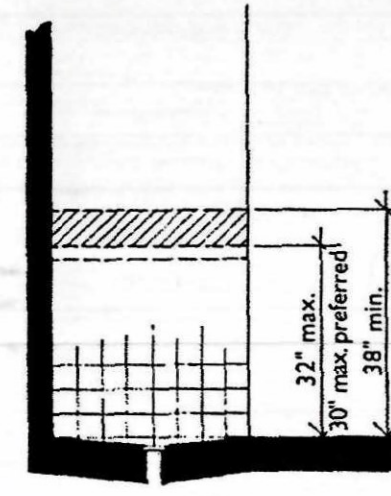
MARKETPLACE ARCHITECTS logo and contact information, State of Colorado Professional Engineer seal, and project information including 'AD.3' and 'Drake Landing'.



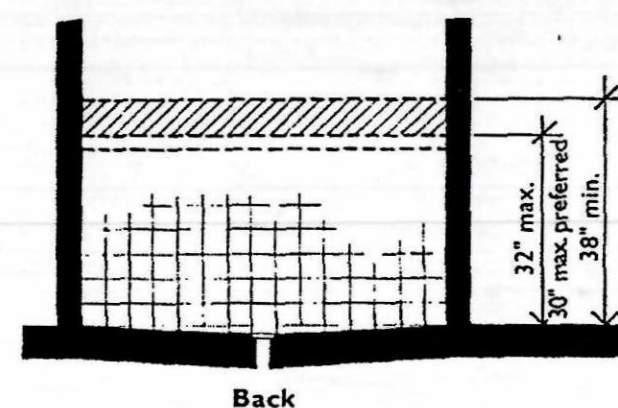
Required Reinforcing When Shower is Only Bathing Fixture



Guideline Requirements for Clear Floor Space at Showers

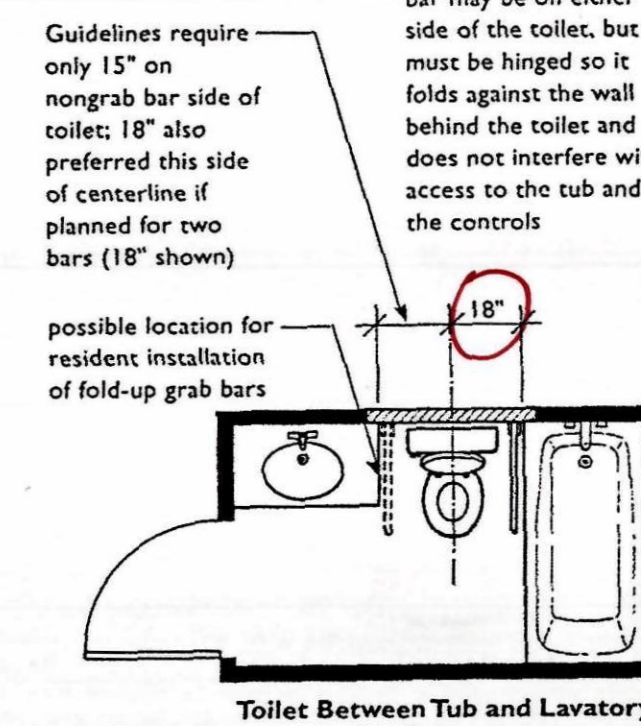


Side  
Minimum Reinforcing for Grab Bars in Showers

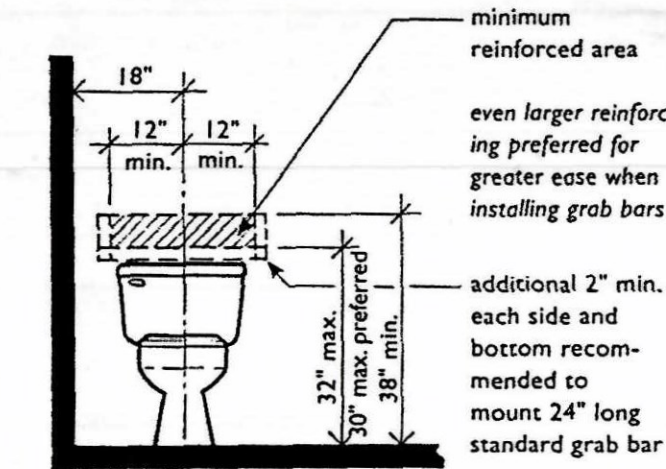


Back

**SHOWER**

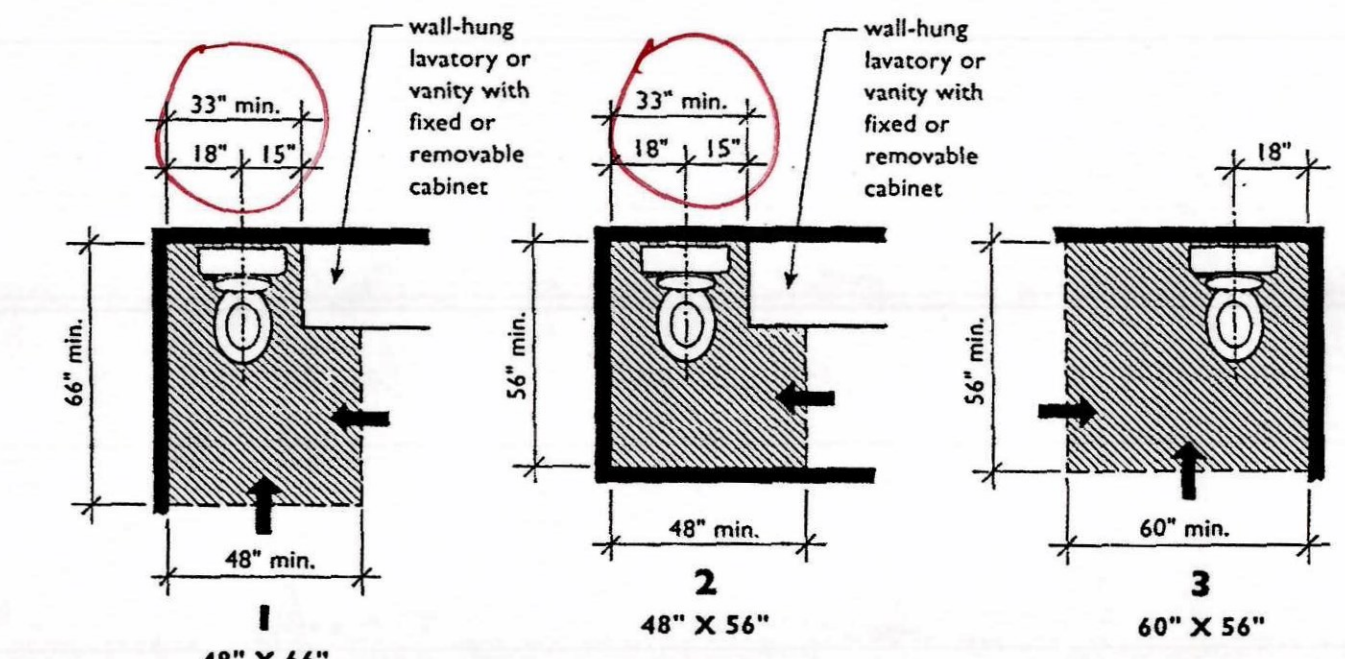


Toilet Between Tub and Lavatory

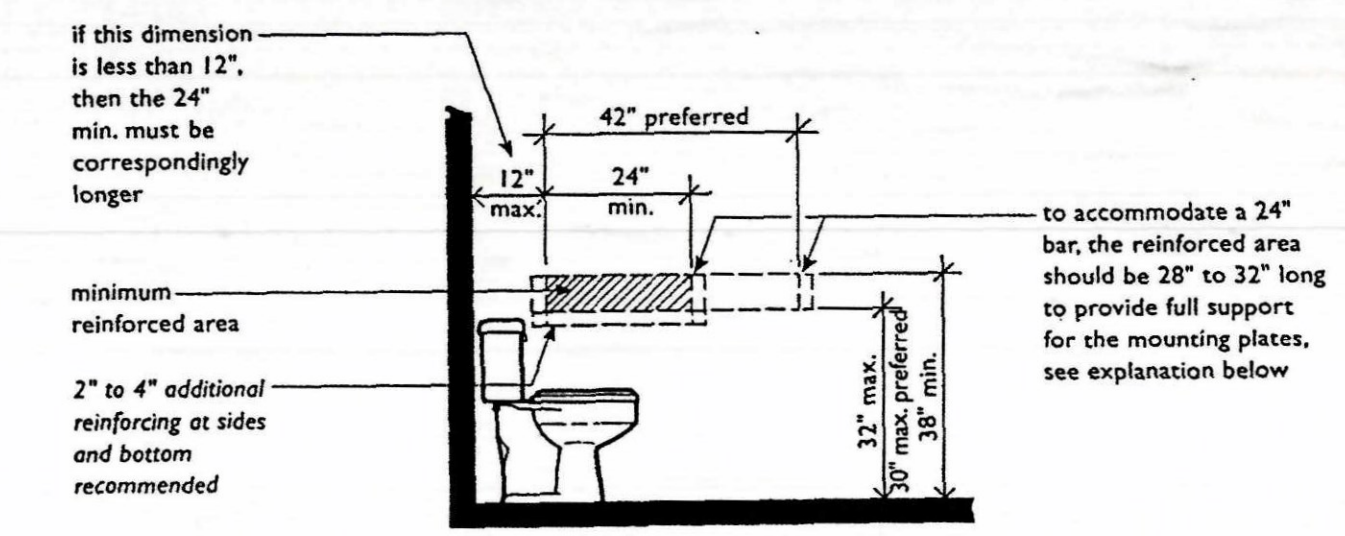


Minimum Reinforcing Behind Toilets Located Beside a Wall

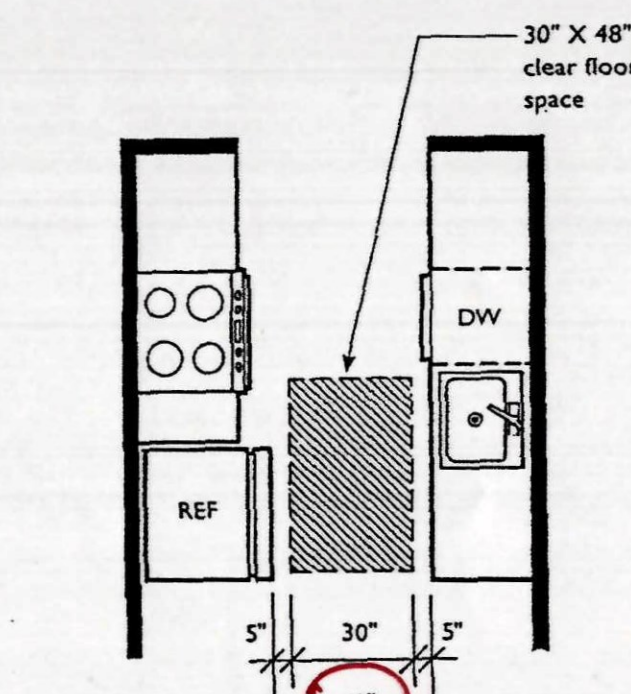
**WATER CLOSET**



Clear Floor Space at Toilets  
(One of the Three Must be Provided in "A" and "B" Bathrooms)

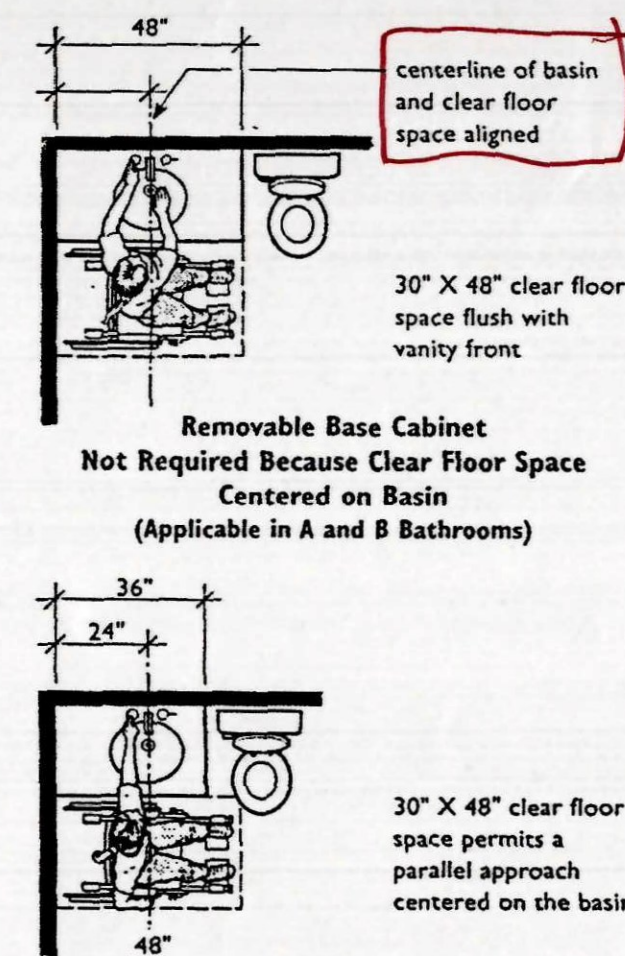


Minimum Reinforcing to the Side of Toilets

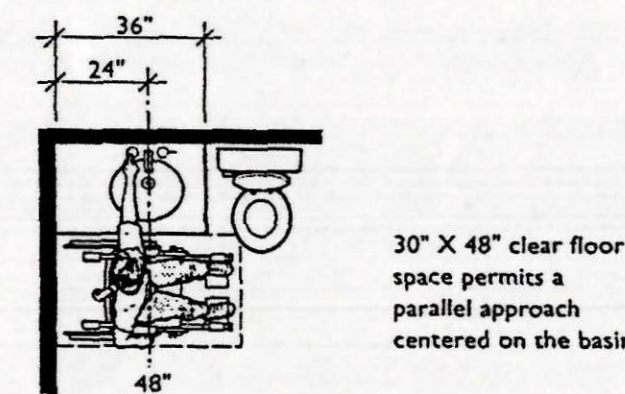


40' Minimum Clearance Between all Counters, Base Cabinets, Appliances, and Walls

**KITCHEN**

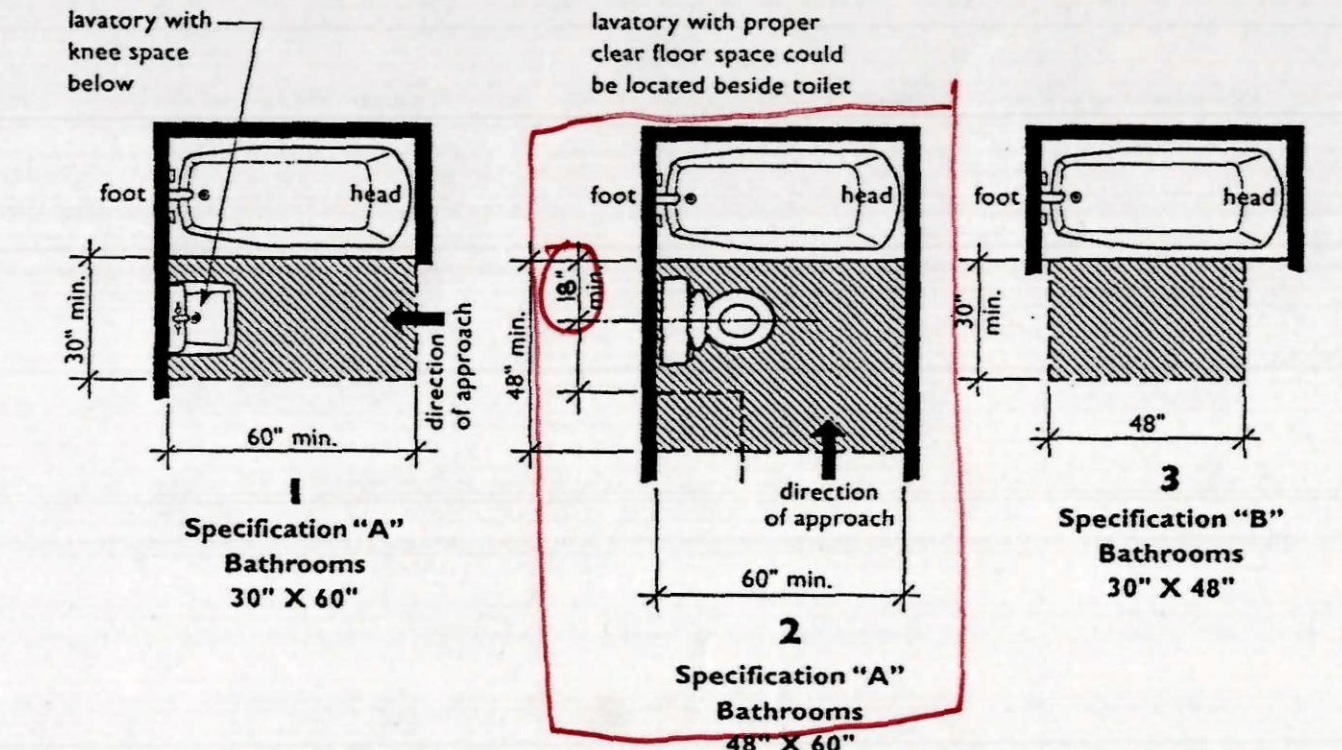


Removable Base Cabinet Not Required Because Clear Floor Space Centered on Basin (Applicable in A and B Bathrooms)

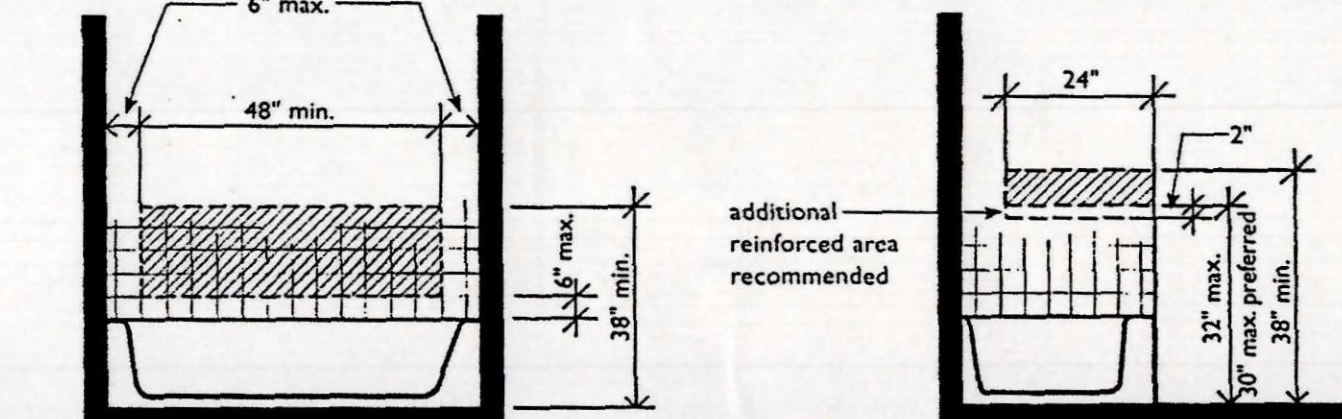


Use of Offset Basin to Reduce Lavatory Length (Applicable in A and B Bathrooms)

**LAVATORY / VANITY**

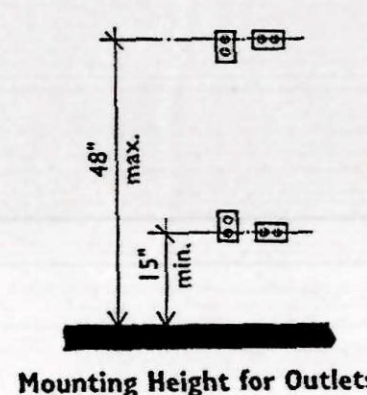


Clear Floor Space at Bathtubs/Showers

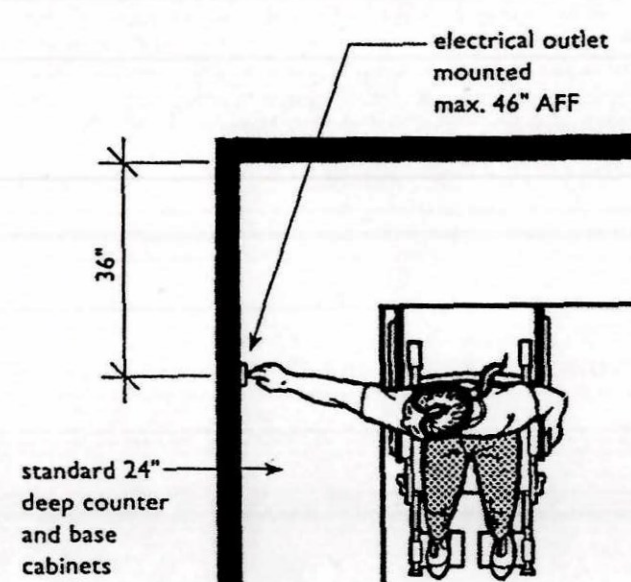


Reinforced Areas Required by the Guidelines at Conventional Bathtubs

**BATHTUB**

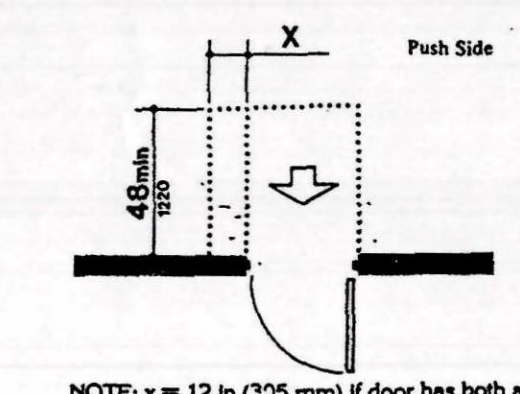


Mounting Height for Outlets

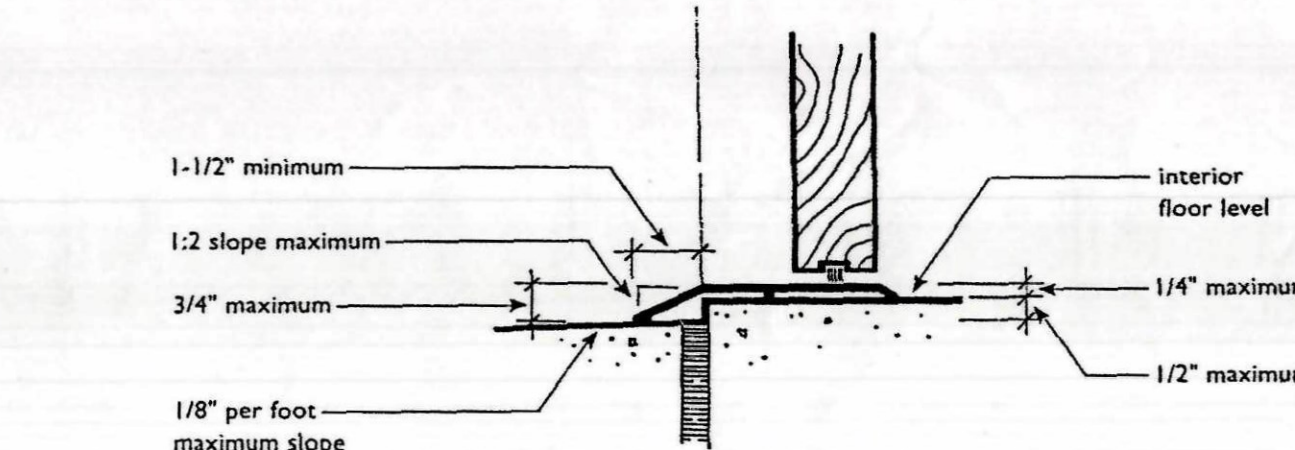


Electrical Outlets on Walls Over Cabinets Must Be a Minimum of 36" from a Corner

**ELEC OUTLETS AND CONTROLS**



Swinging Primary Entry Door at Concrete Landing showing allowable changes in level at primary entry doors with direct exterior access onto concrete or other impervious landing surface where 1/2-inch maximum changes in level are permitted.

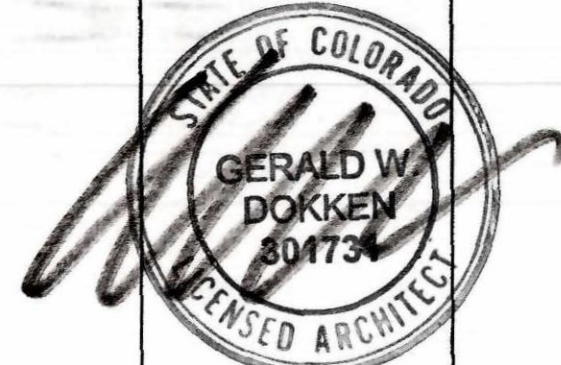


**MAIN ENTRY DOOR**

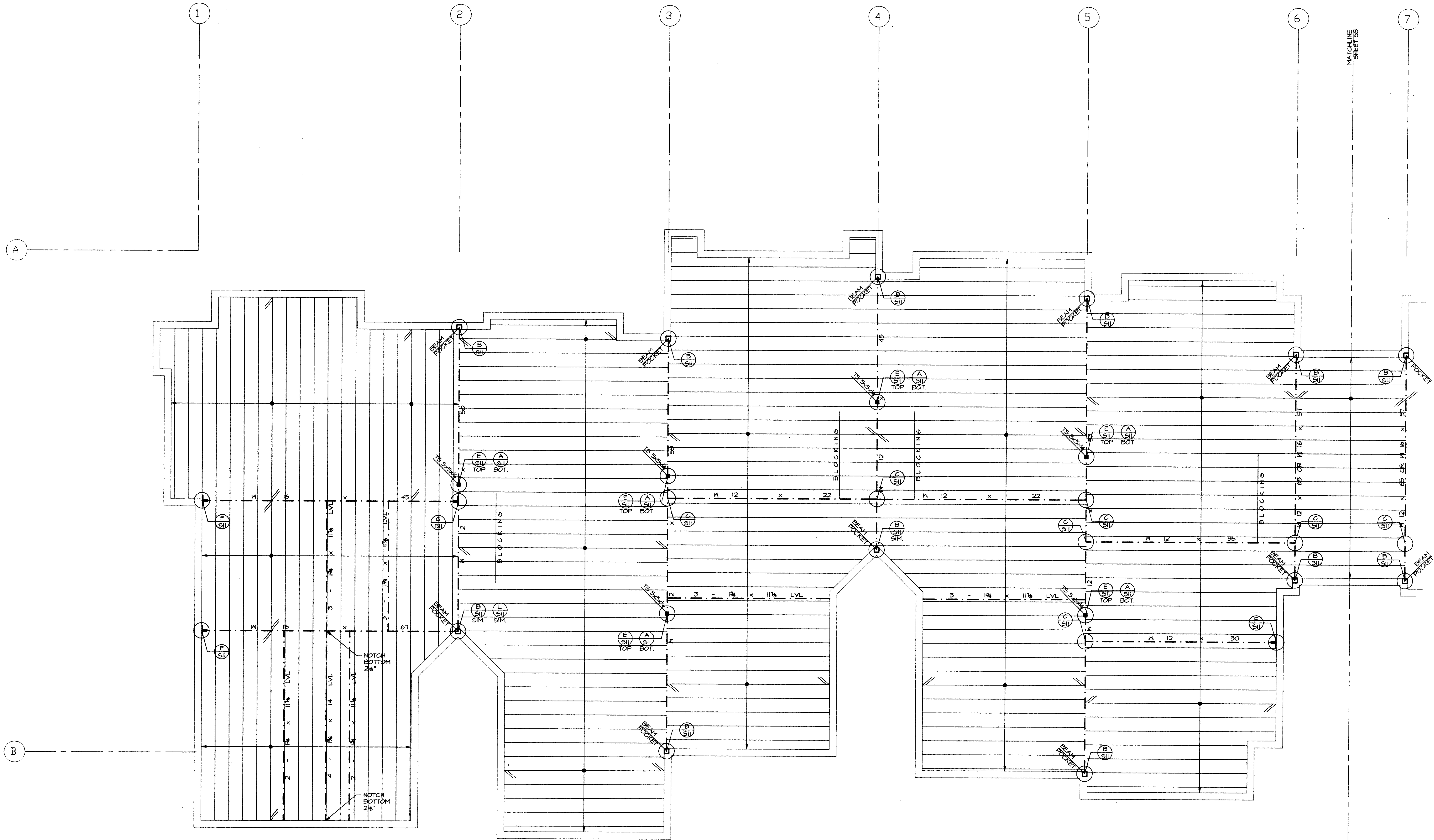
see grab bar blocking detail on sheet S-11

03-016

**TYPE B DWELLING UNIT REFERENCE DRAWINGS**







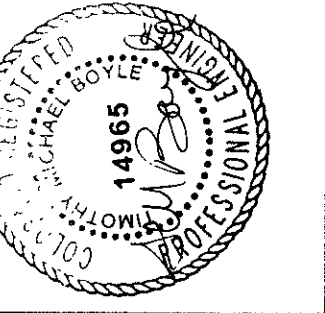
**MAIN LEVEL FRAMING PLAN**

1/4" = 1'-0"

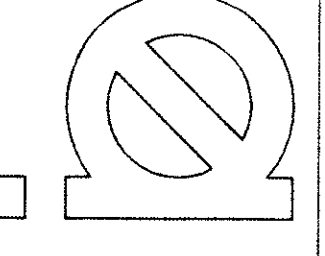
**NOTE:**

← INDICATES DIRECTION OF 1 1/2" BCI 90XL JOISTS @ 16" O.C. TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE

DATE: 03/10/02  
 FILE: drakeb-03  
 DRAWN: RJB  
 REVISED:



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 143 E. Meadow Dr.  
 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970.476-2110

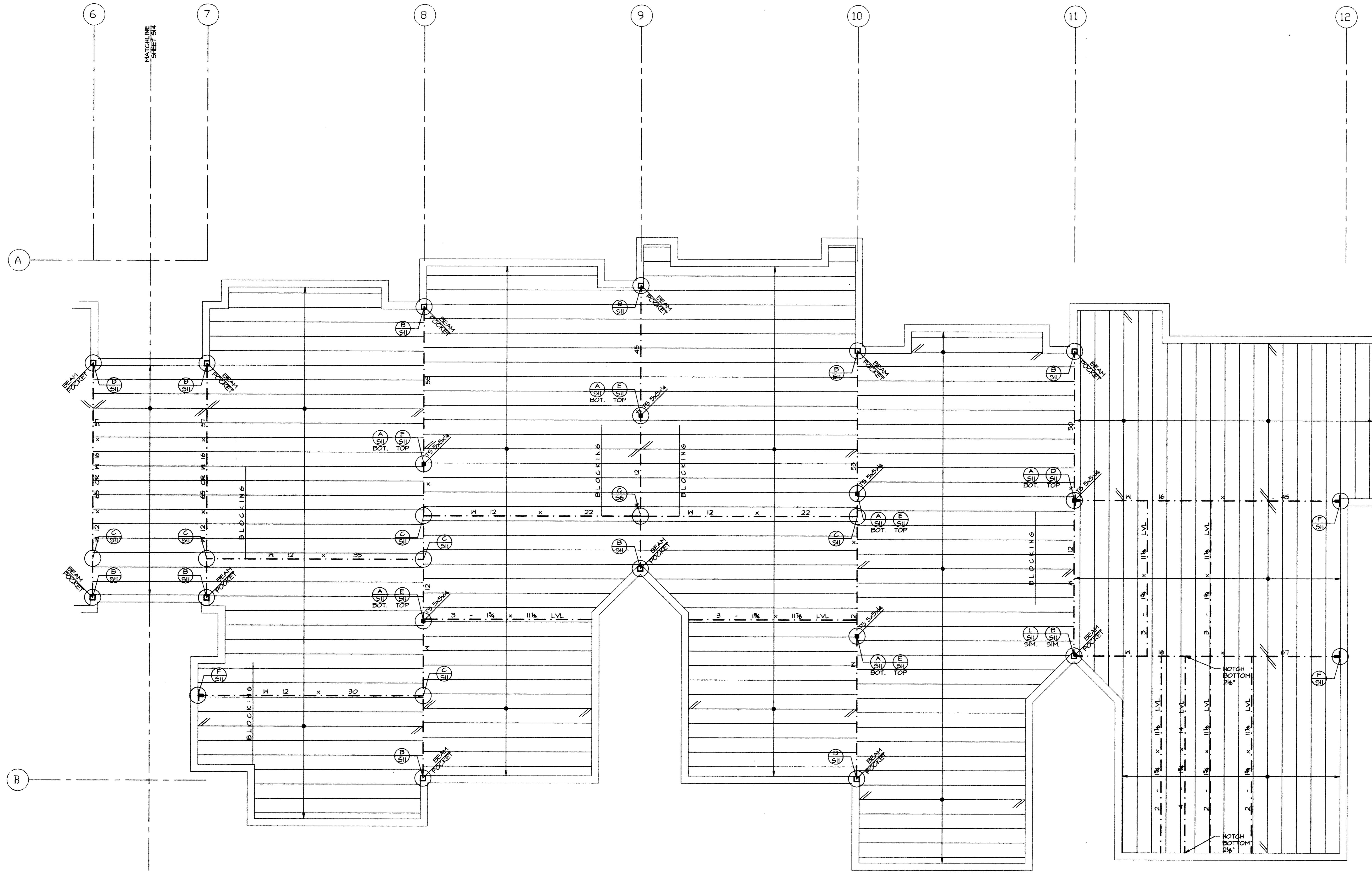


SHEET NUMBER  
**63**

**DRAKE LANDING**  
**BUILDING 'B'**  
**FRISCO, COLORADO**

MATCHLINE  
 SHEET 55

MATCHLINE  
 SHEET 55



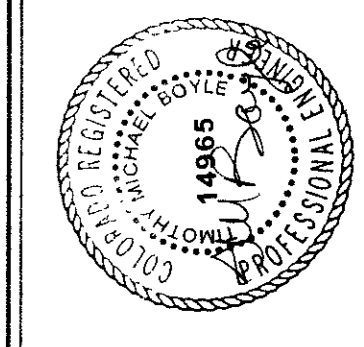
**MAIN LEVEL FRAMING PLAN**

1/4" = 1'-0"

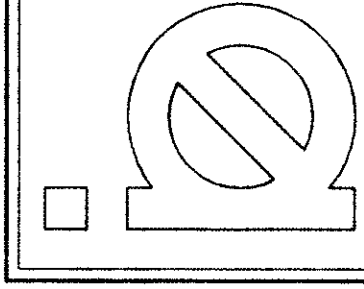
NOTE:

→ INDICATES DIRECTION OF 11 1/2" BCI 90XL JOISTS @ 16" O.C. TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE

DATE: 03/16/02  
 FILE: drakab-s3  
 DRAIN: RJB  
 REVISED:  
 REVISED:

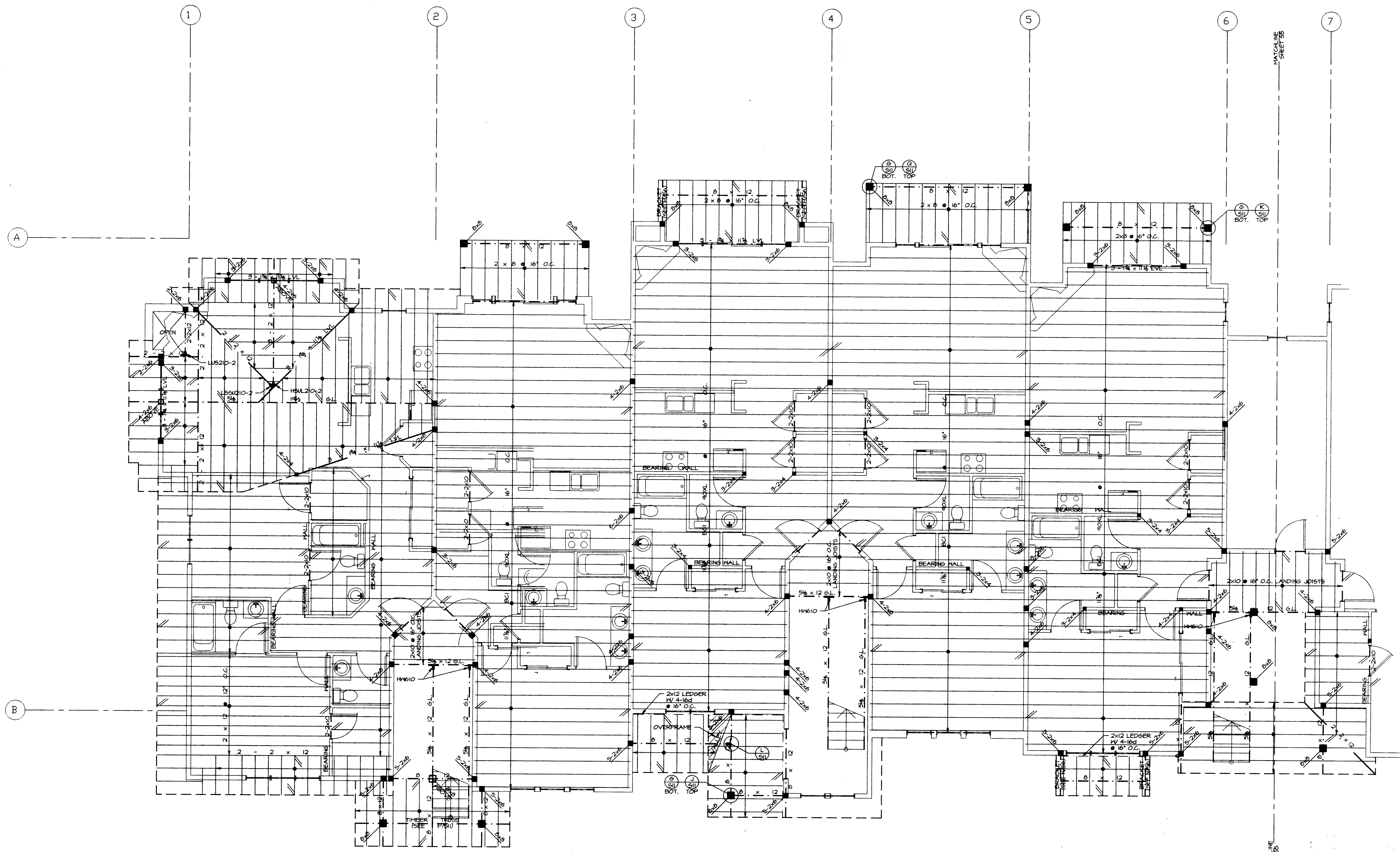


boyle engineering, inc.  
 143 e. meadow dr.  
 crossroads shopping center  
 vail, colorado 81657  
 970.476-2170



SHEET NUMBER  
 54

**DRAKE LANDING**  
 BUILDING 'B'  
 FRISCO, COLORADO

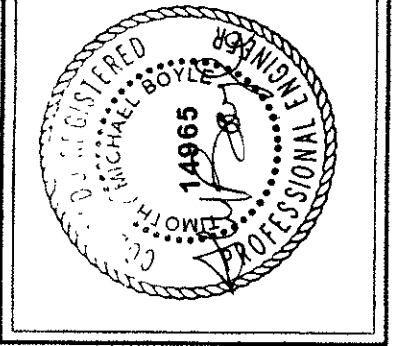


**UPPER LEVEL & LOW ROOF FRAMING PLAN**

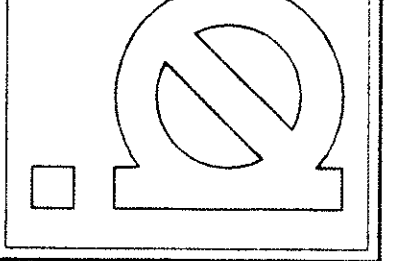
1/4" = 1'-0"

NOTE:  
 ↳ INDICATES DIRECTION OF 2 x 12 @ 16' O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE.

DATE: 03/16/02  
 FILE: drakeb-s5  
 DRAWN: RJB  
 REVISED:  
 REVISED:



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 colorado shopping center  
 vail, colorado 81657  
 970.476-2170

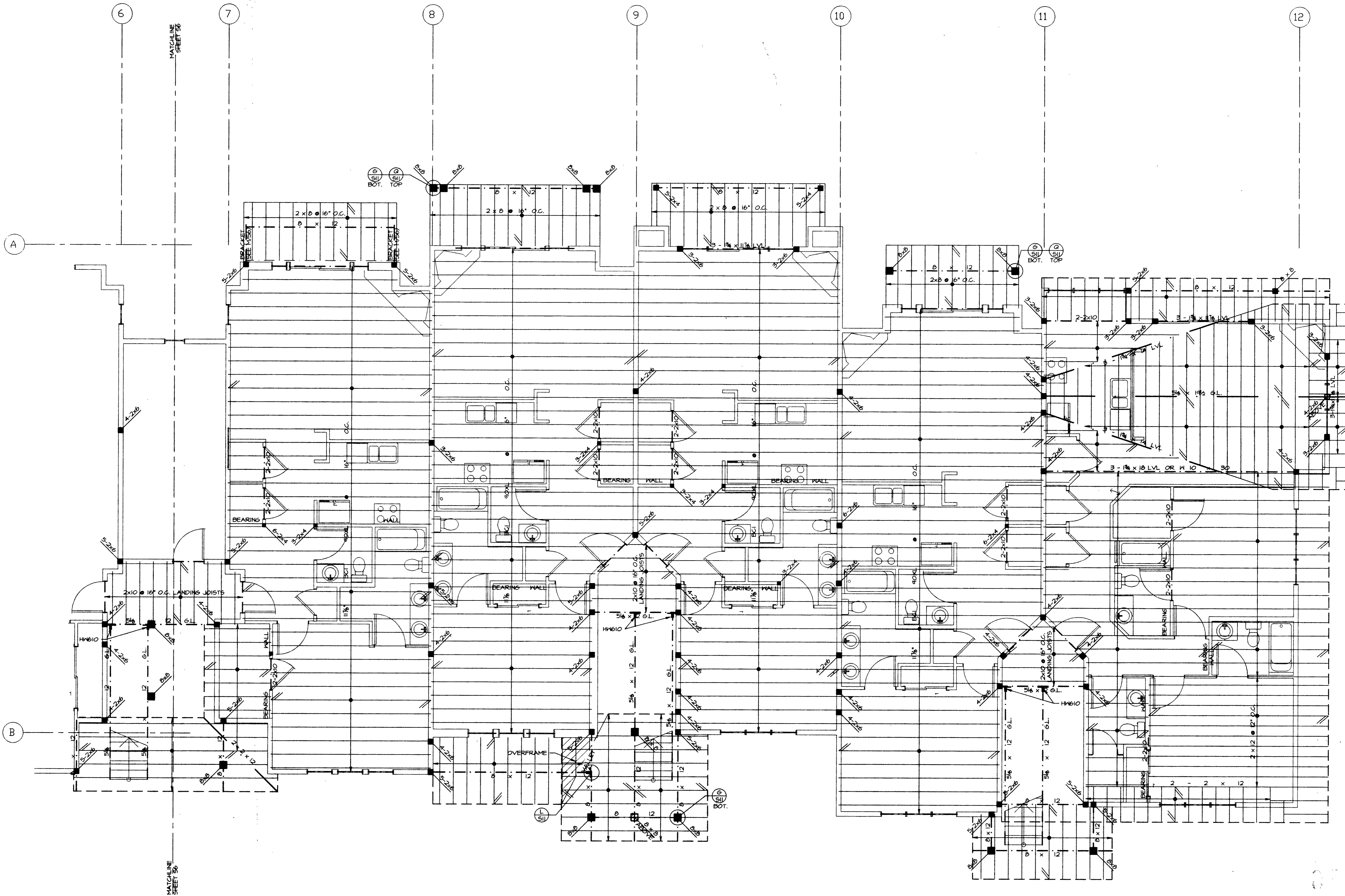


D-BIT NUMBER  
 55

**DRAKE LANDING**  
**BUILDING 'B'**  
**FRISCO, COLORADO**

MATCHLINE  
 SHEET 54

MATCHLINE  
 SHEET 56

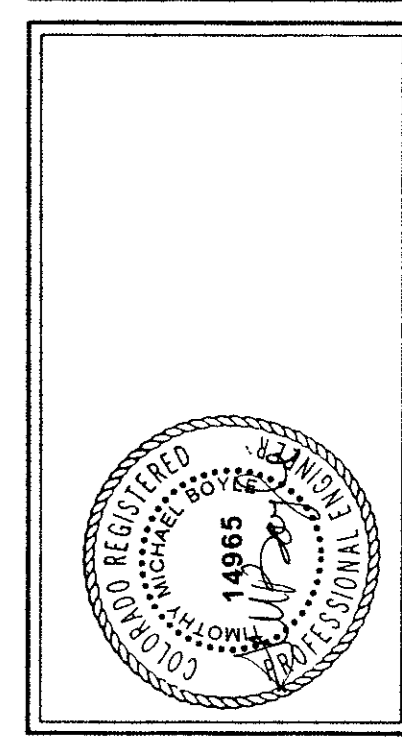


**UPPER LEVEL & LOW ROOF FRAMING PLAN**

1/4" = 1'-0"

NOTE:  
 -> INDICATES DIRECTION OF 2 x 12 @ 16" O.C. RAFTERS. TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 IV SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE.

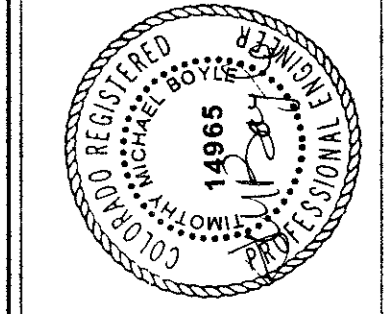
DATE: 03/16/02  
 FILE: drakeb-95  
 DRAWN: RJB  
 REVISED:  
 REVISION:



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 crossroads shopping center  
 frisco, colorado 81651  
 970.476-2110

56

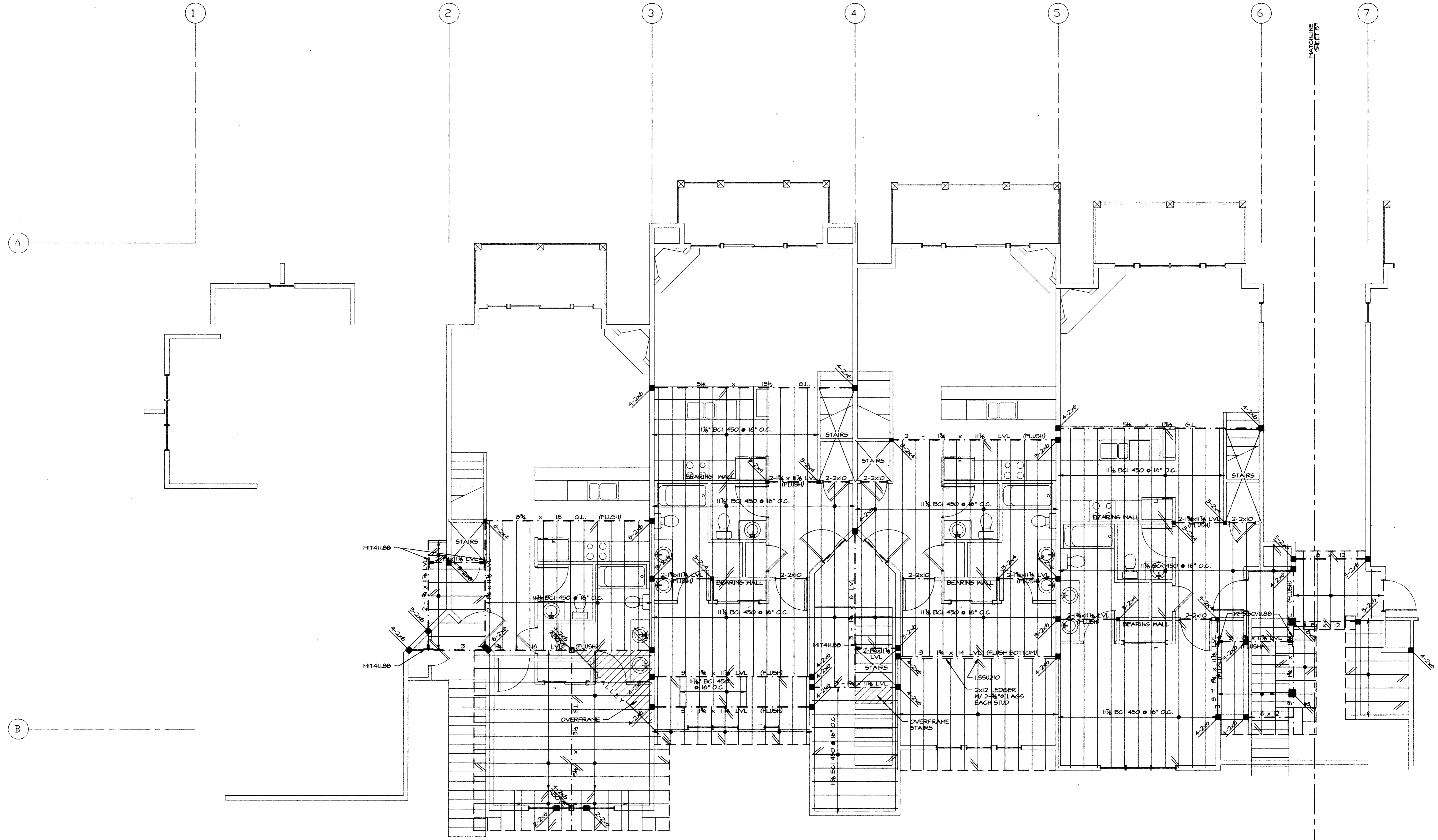
**DRAKE LANDING  
 BUILDING 'B'  
 FRISCO, COLORADO**



Boyle Engineering, Inc.  
 143 E. Meadow Dr.  
 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970/476-2110

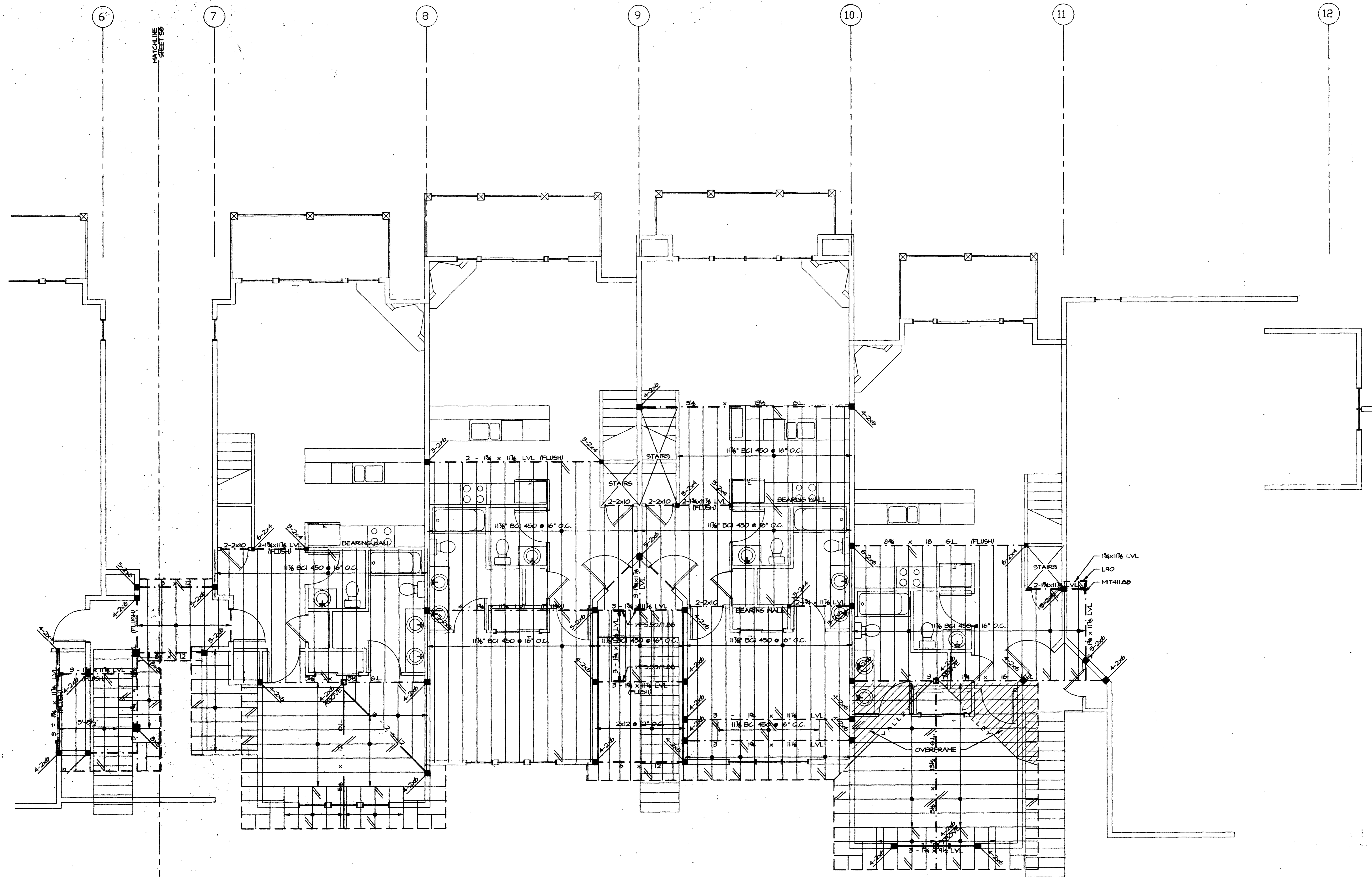
SHEET NUMBER  
 61

DRAKE LANDING  
 BUILDING 'B'  
 FRISCO, COLORADO



**LOFT & LOW ROOF FRAMING PLAN**

1/4" = 1'-0"  
 NOTE:  
 -> INDICATES DIRECTION OF 2 x 12 @ 16" O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE



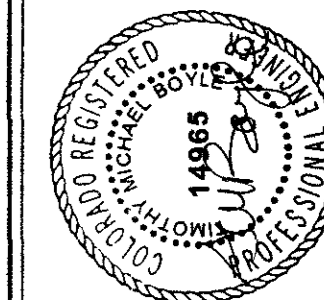
**LOFT & LOW ROOF FRAMING PLAN**

1/4" = 1'-0"

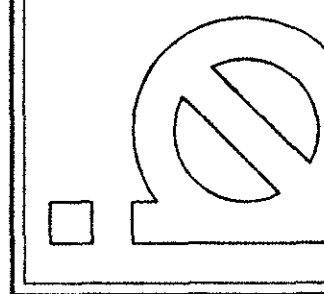
NOTE:

INDICATES DIRECTION OF 2 x 12 @ 16" O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE

DATE: 03/10/02  
 FILE: 03060-57  
 DRAWN: R.B.  
 REVISED:  
 REVISED:



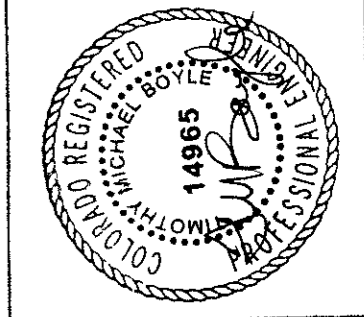
boyle engineering, inc.  
 143 e. meadow dr.  
 crossroads shopping center  
 vail, colorado 81657  
 970/476-2110



SHEET NUMBER  
 58

**DRAKE LANDING  
 BUILDING 'B'  
 FRISCO, COLORADO**

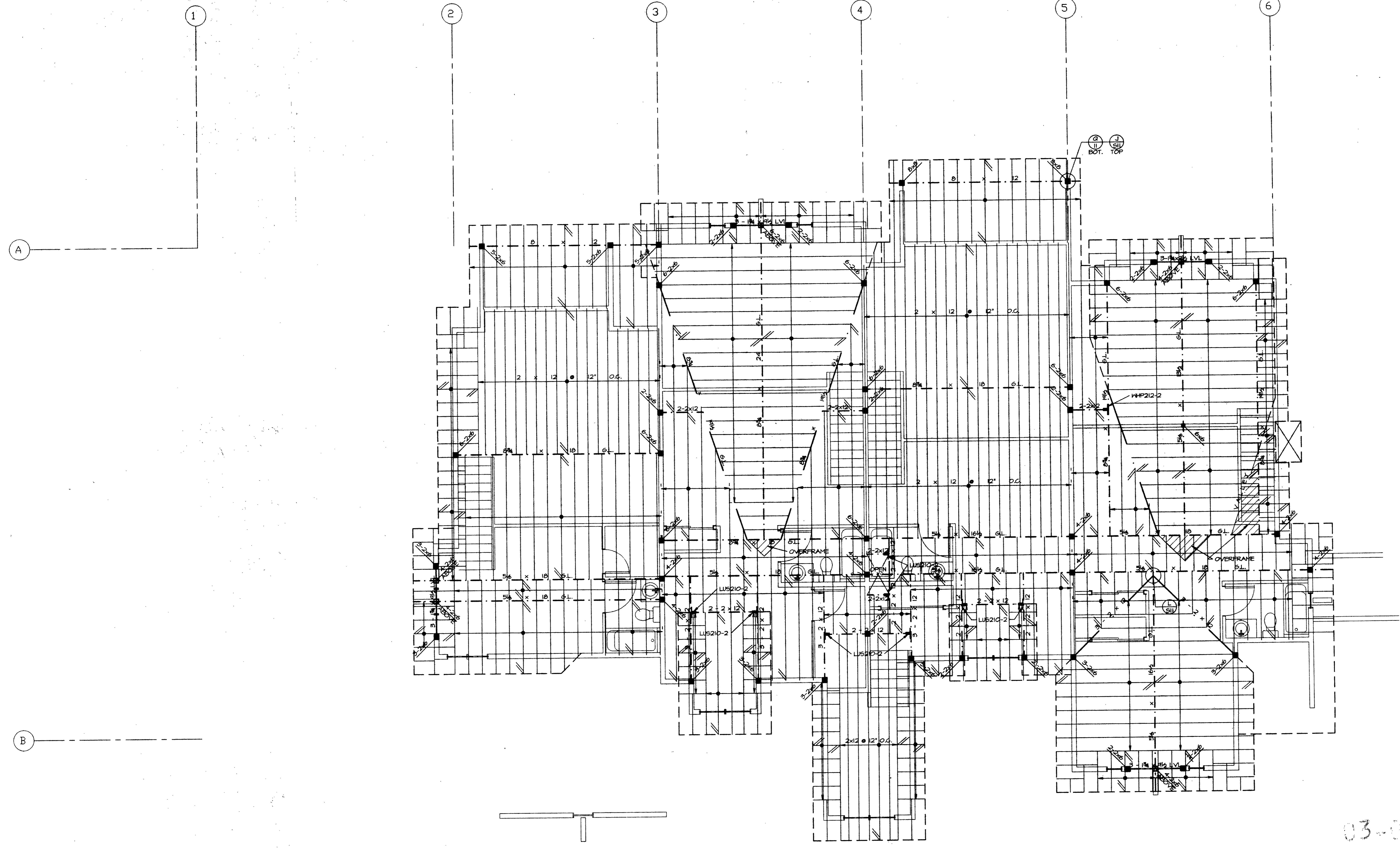
DATE: 03/18/02  
 FILE: 200000-91  
 DRAWN: RJB  
 REVISED:  
 REVISED:



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 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970/476-2110

SHEET NUMBER  
 69

DRAKE LANDING  
 BUILDING 'B'  
 FRISCO, COLORADO

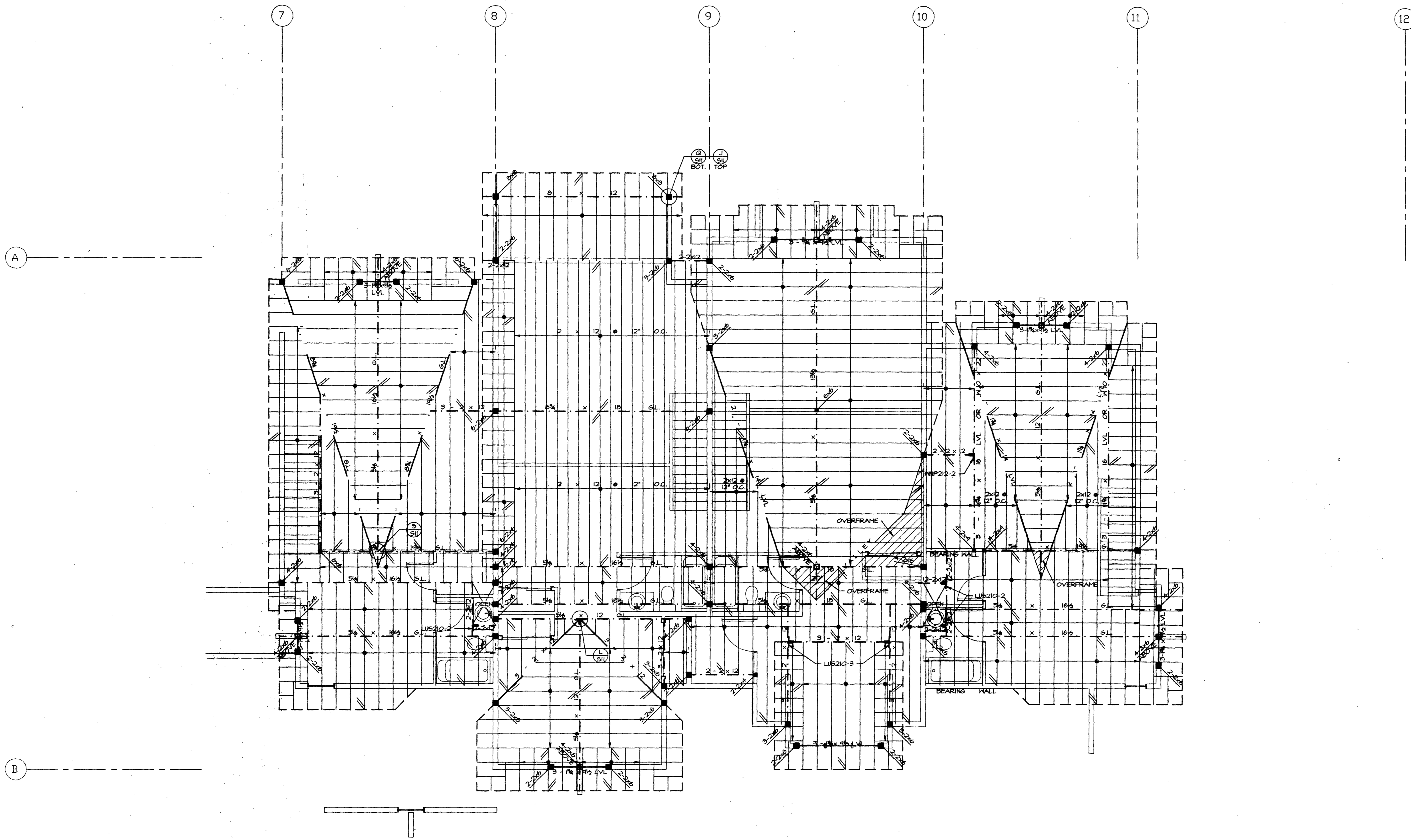


03-016

**HIGH ROOF FRAMING PLAN**

1/4" = 1'-0"

NOTE:  
 ← INDICATES DIRECTION OF 2 x 12 @ 16' O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE



**HIGH ROOF FRAMING PLAN**

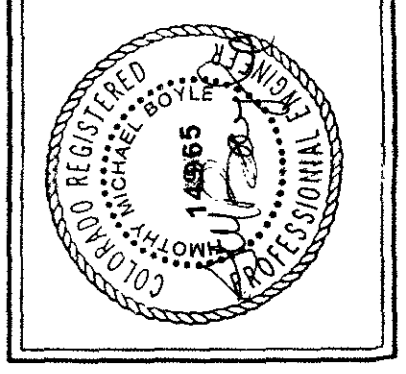
1/4" = 1'-0"

NOTE:

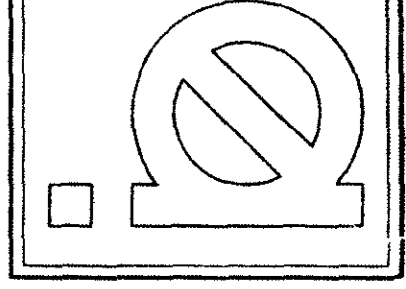
← INDICATES DIRECTION OF 2 x 12 @ 16" O.C. RAFTERS. TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE

03-016

DATE: 09/18/02  
 FILE: Drake-RJB  
 DRAWN: RJB  
 REVISED:  
 REVISED:



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 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970/476-2170



SHEET NUMBER  
 02

**DRAKE LANDING**  
**BUILDING 'B'**  
 COLORADO  
 FRISCO, CO



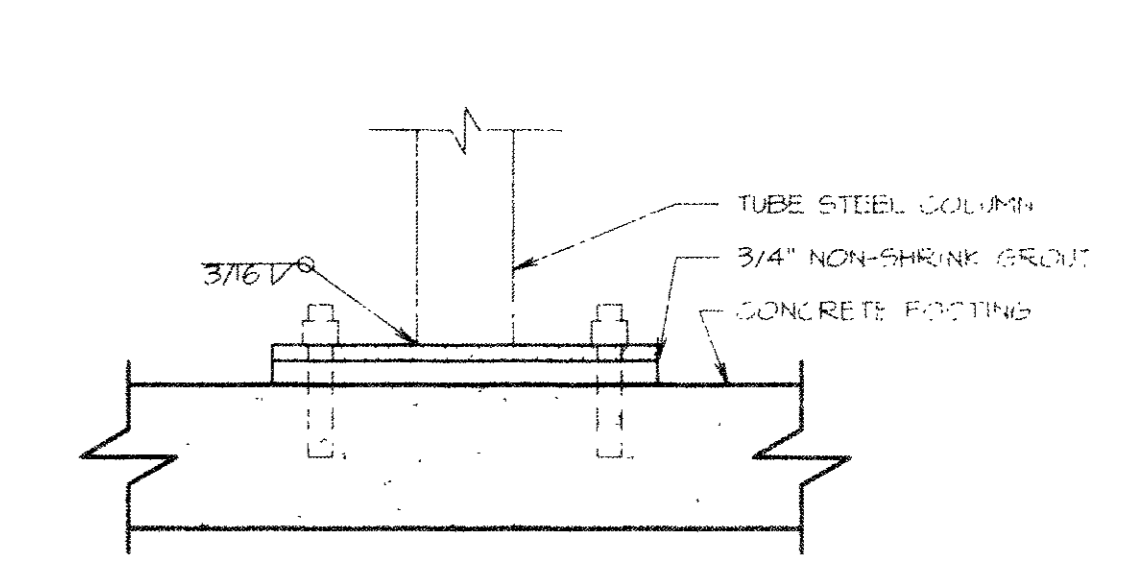
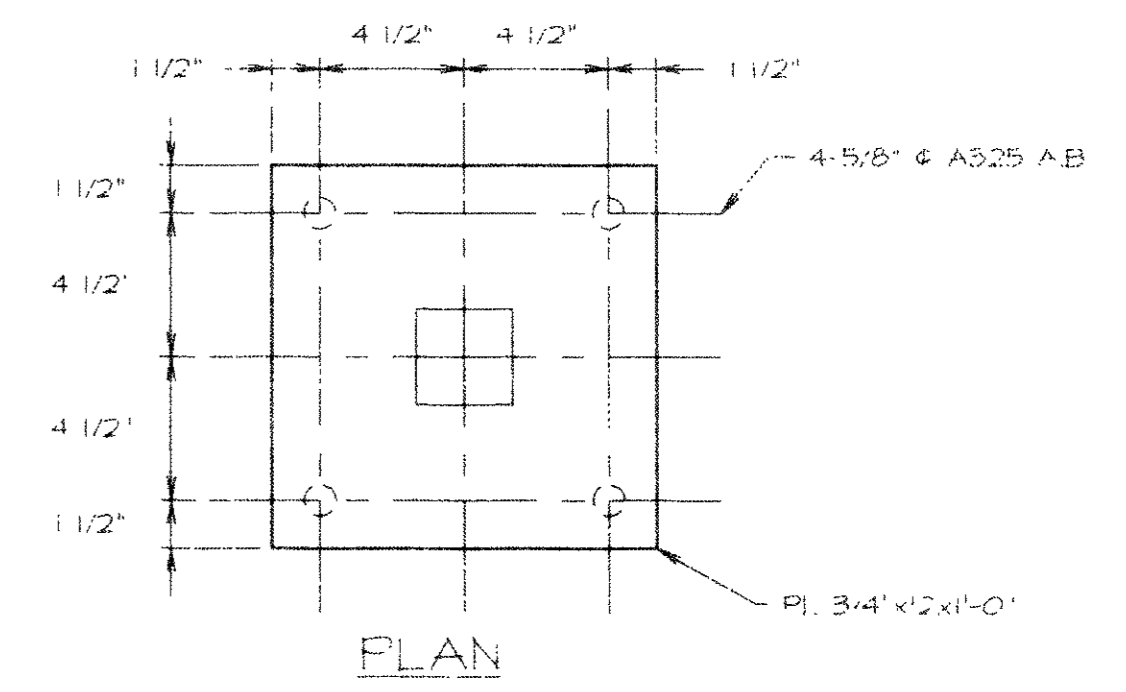
DATE: 4-20-03  
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 REVISED: 5-27-03  
 REVISED:



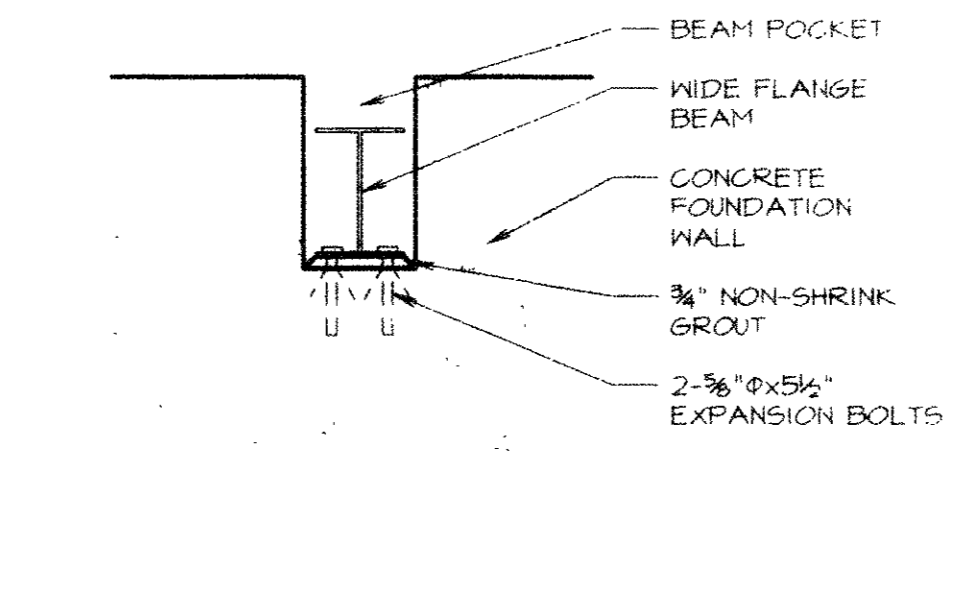
BOISE ENGINEERING INC.  
 1115 S. MICHIGAN ST.  
 BOISE, IDAHO 83725  
 (208) 333-1111

SHEET NUMBER  
 S11  
 see 12-303  
 collected/10/02/02  
 S11

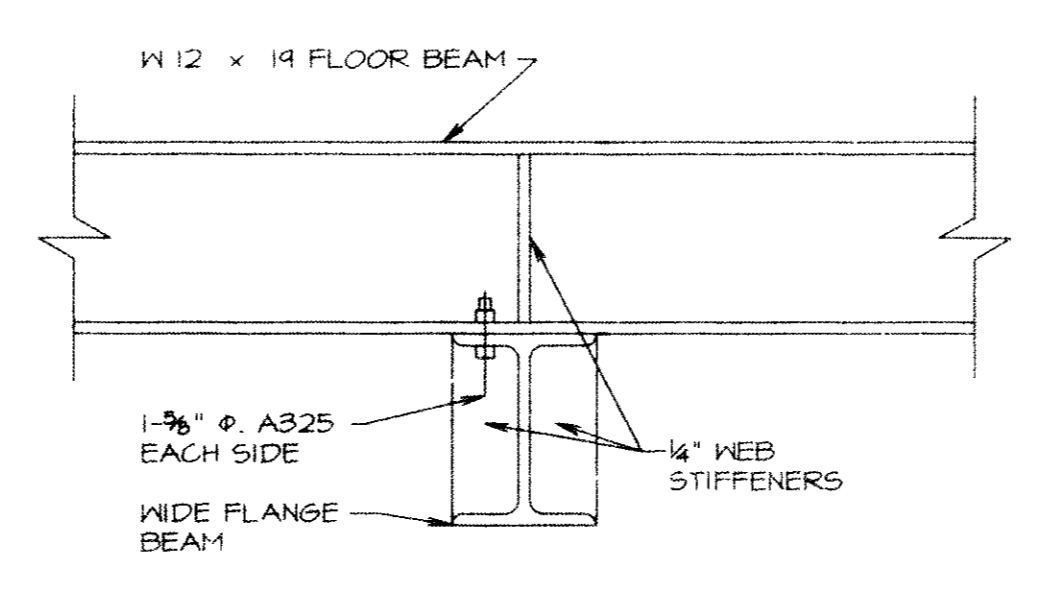
BRAKE LANDING  
 BUILDING E  
 BOULDER, COLORADO



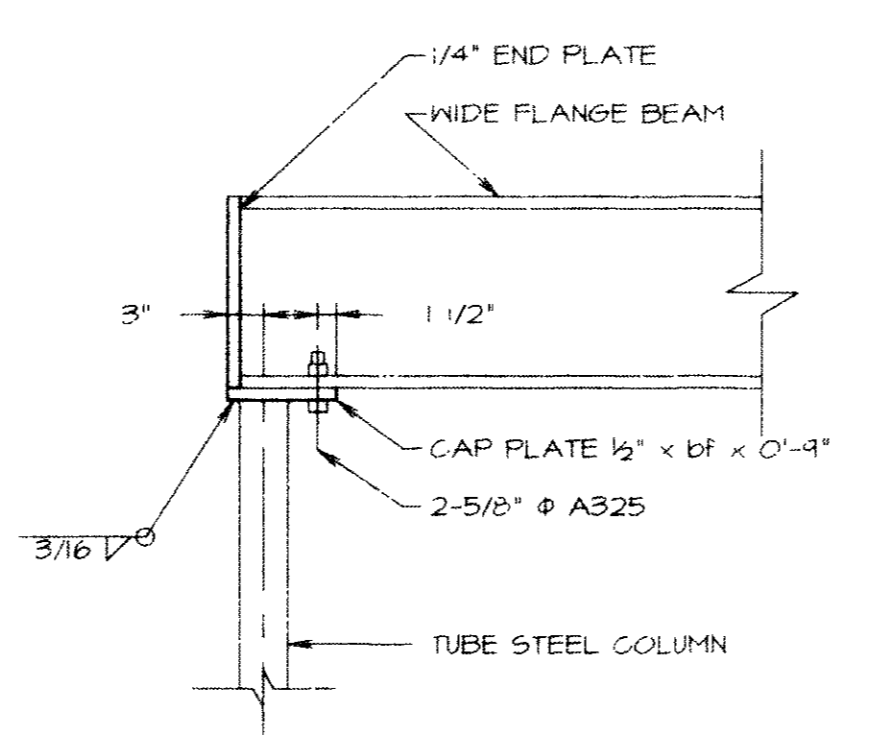
DETAIL A  
 SCALE 2 1/4"=1'-0"



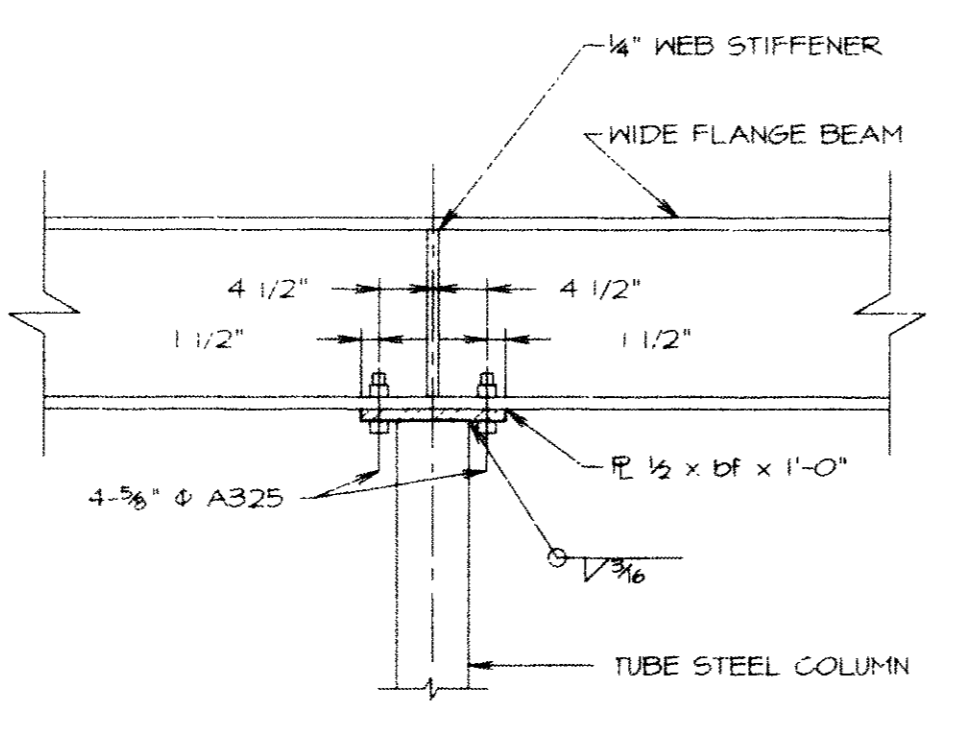
DETAIL B  
 SCALE 3/4"=1'-0"



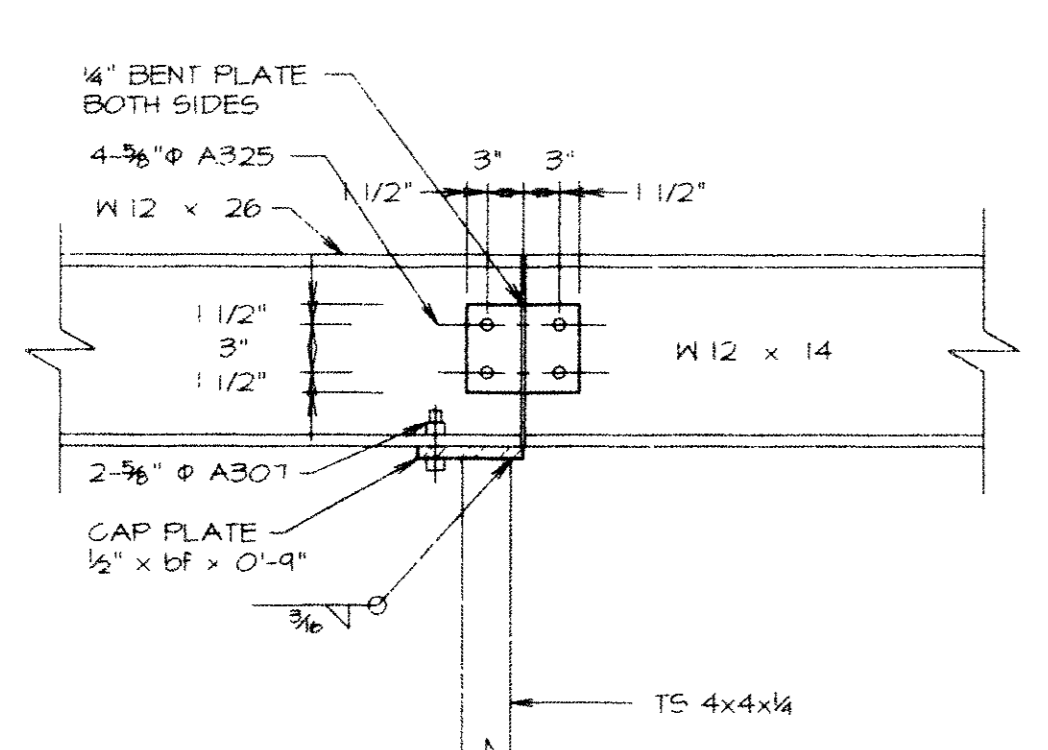
DETAIL C  
 SCALE 1 1/2"=1'-0"



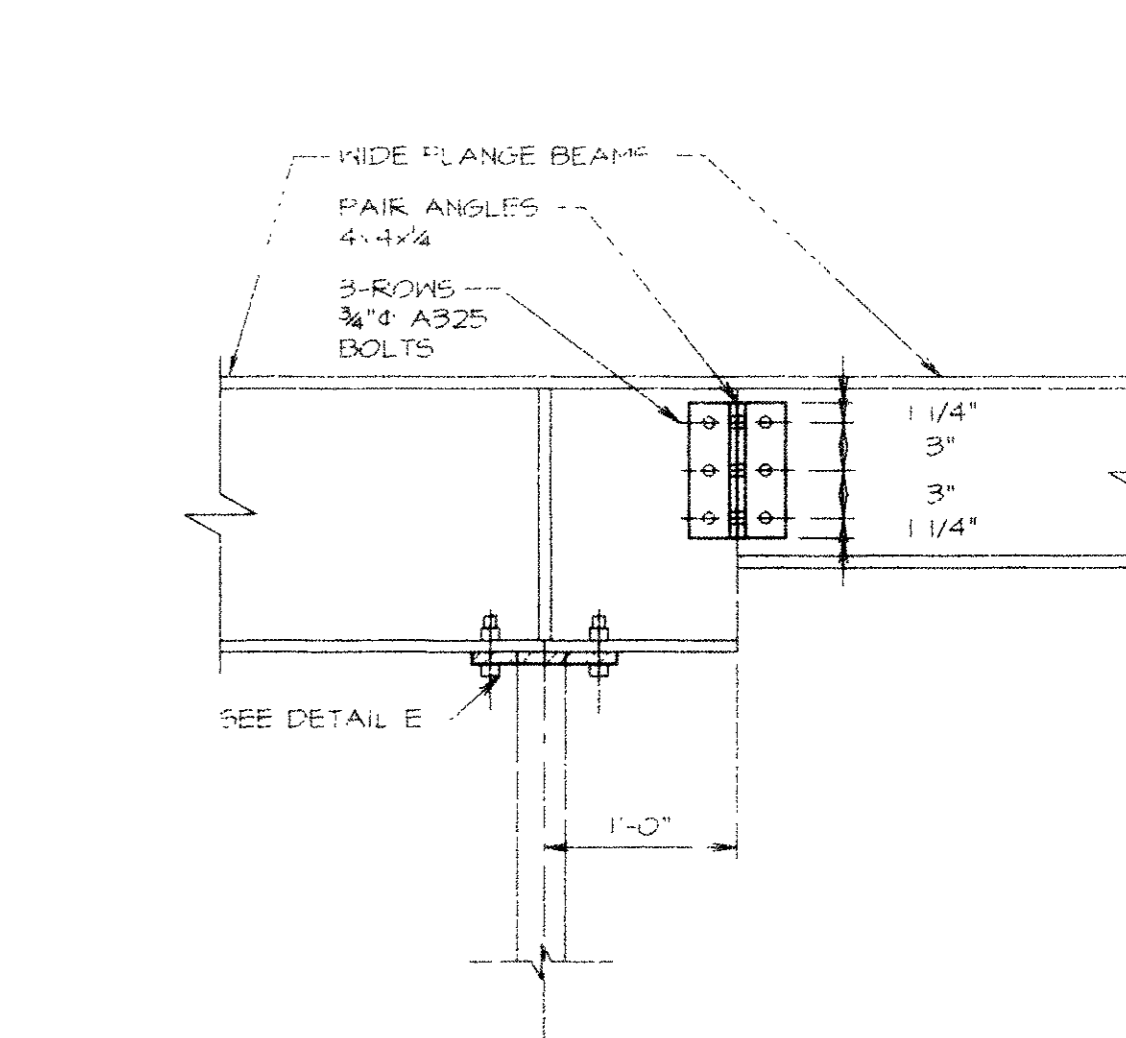
DETAIL D  
 SCALE 3/4"=1'-0"



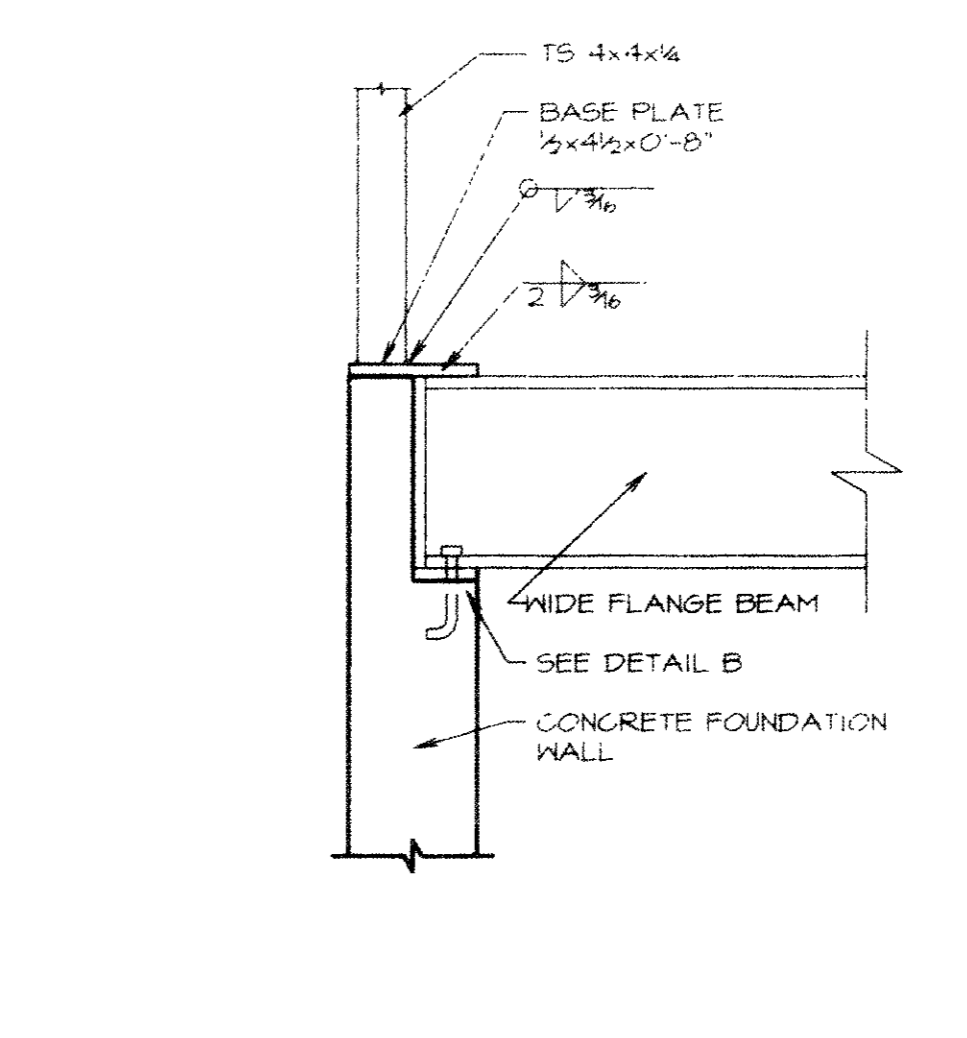
DETAIL E  
 SCALE 3/4"=1'-0"



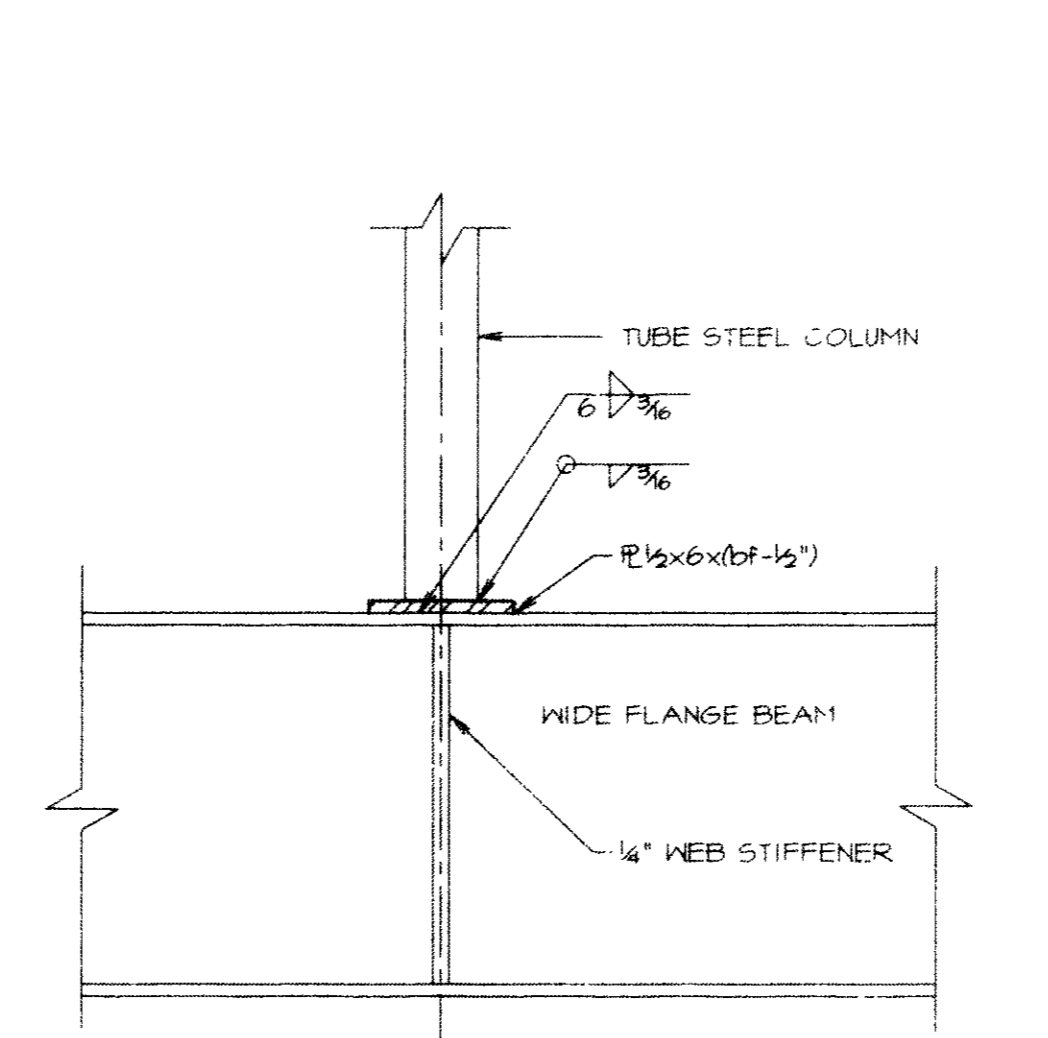
DETAIL F  
 SCALE 1"=1'-0"



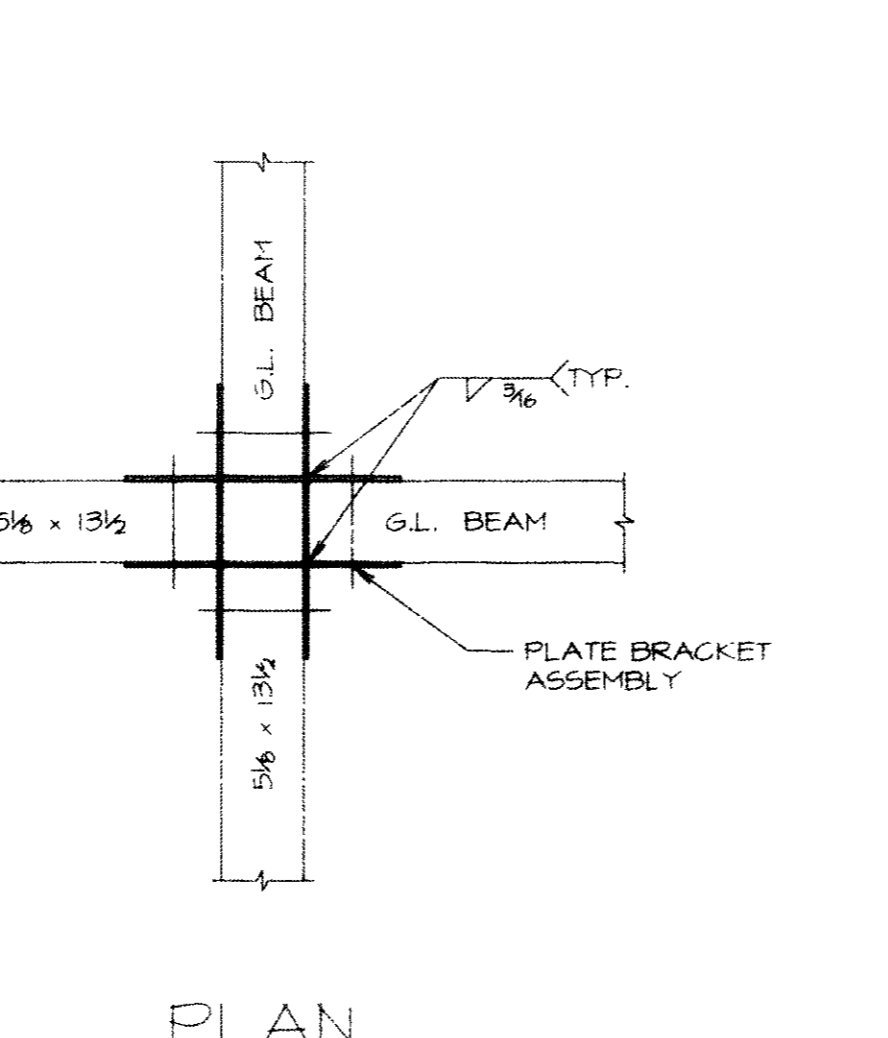
DETAIL G  
 SCALE 1"=1'-0"



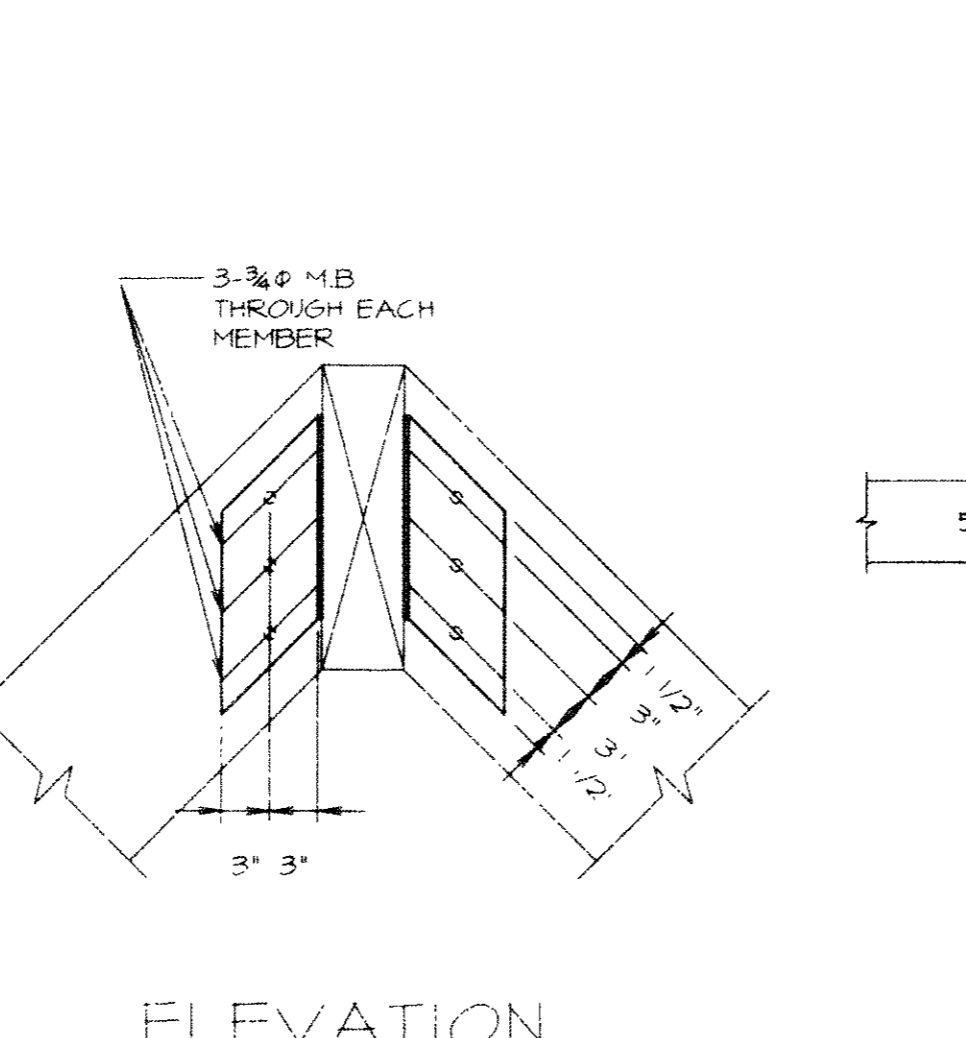
DETAIL H  
 SCALE 1"=1'-0"



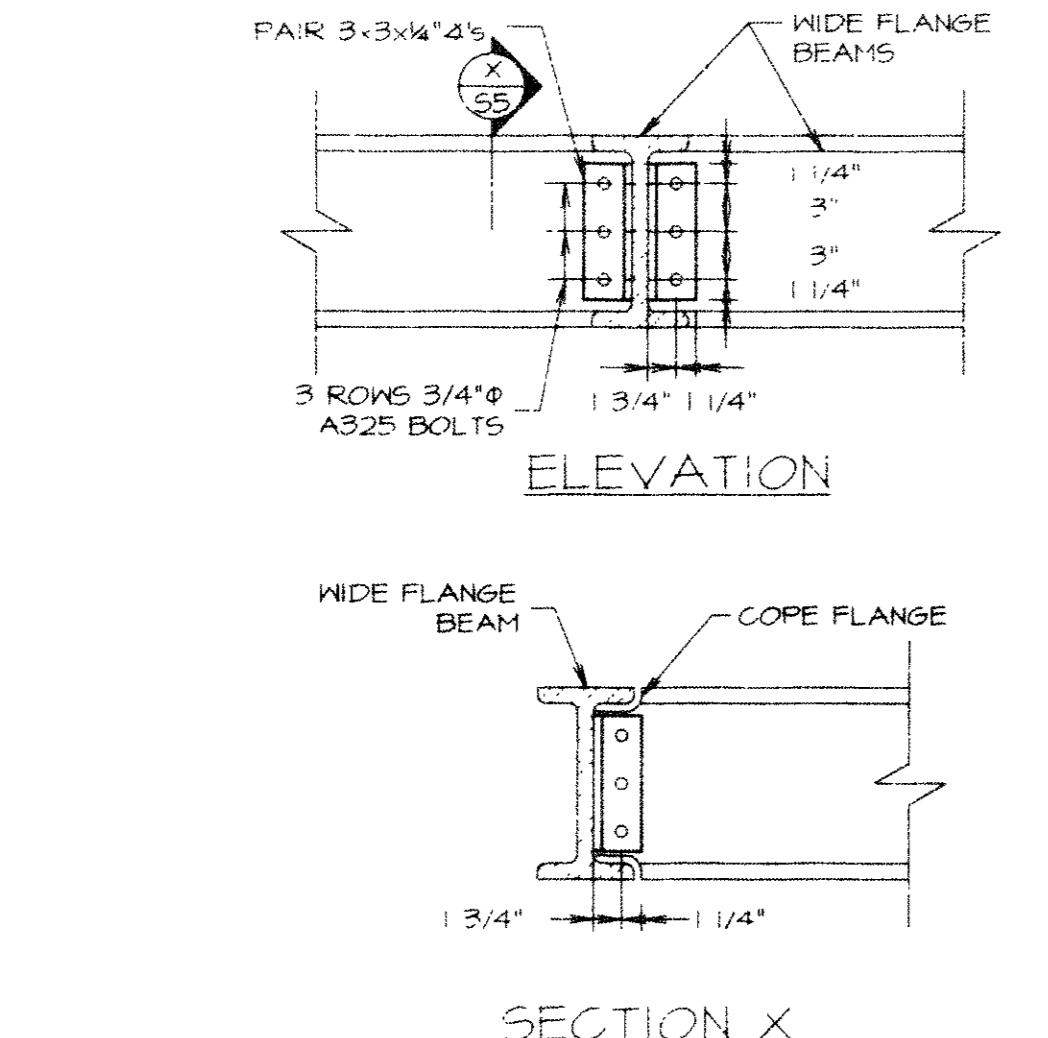
DETAIL J  
 SCALE 1 1/2"=1'-0"



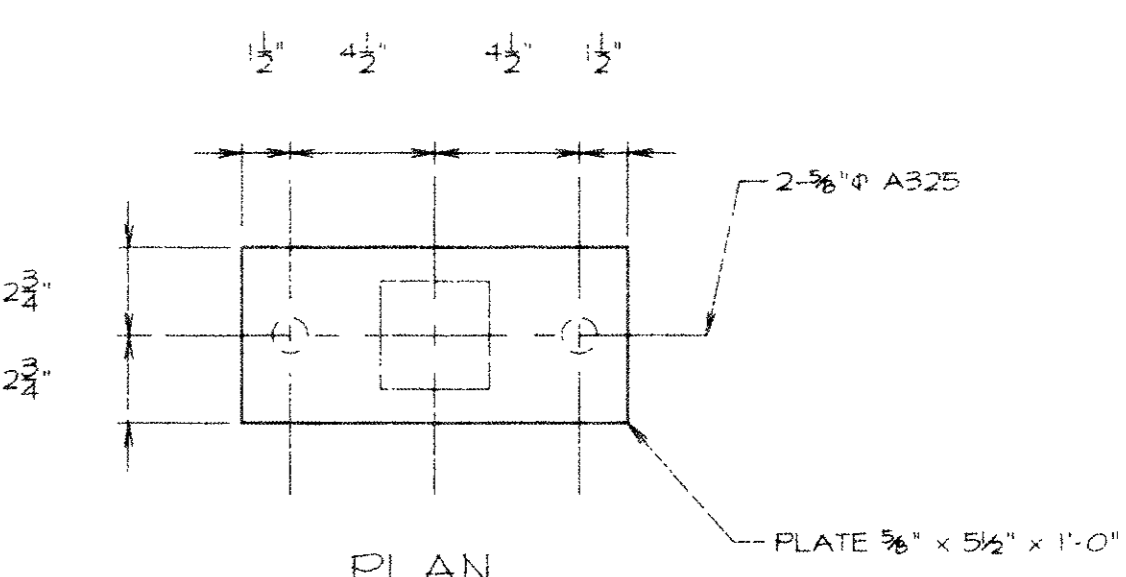
DETAIL K  
 SCALE 1"=1'-0"



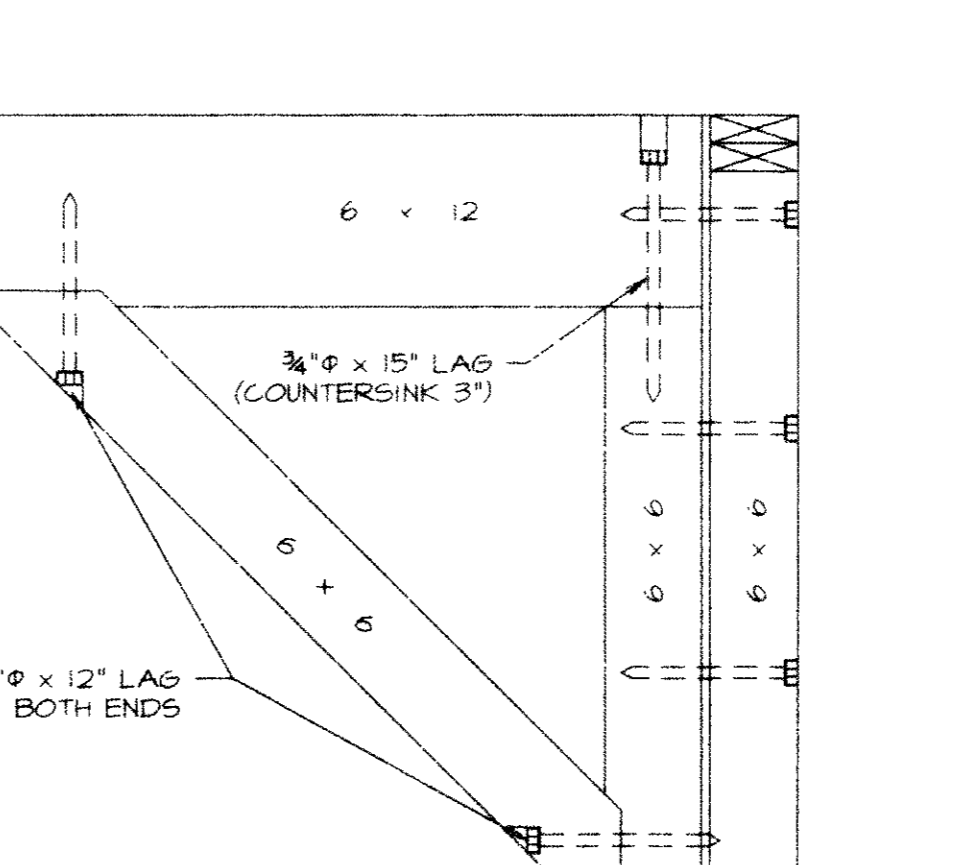
DETAIL L  
 SCALE 1"=1'-0"



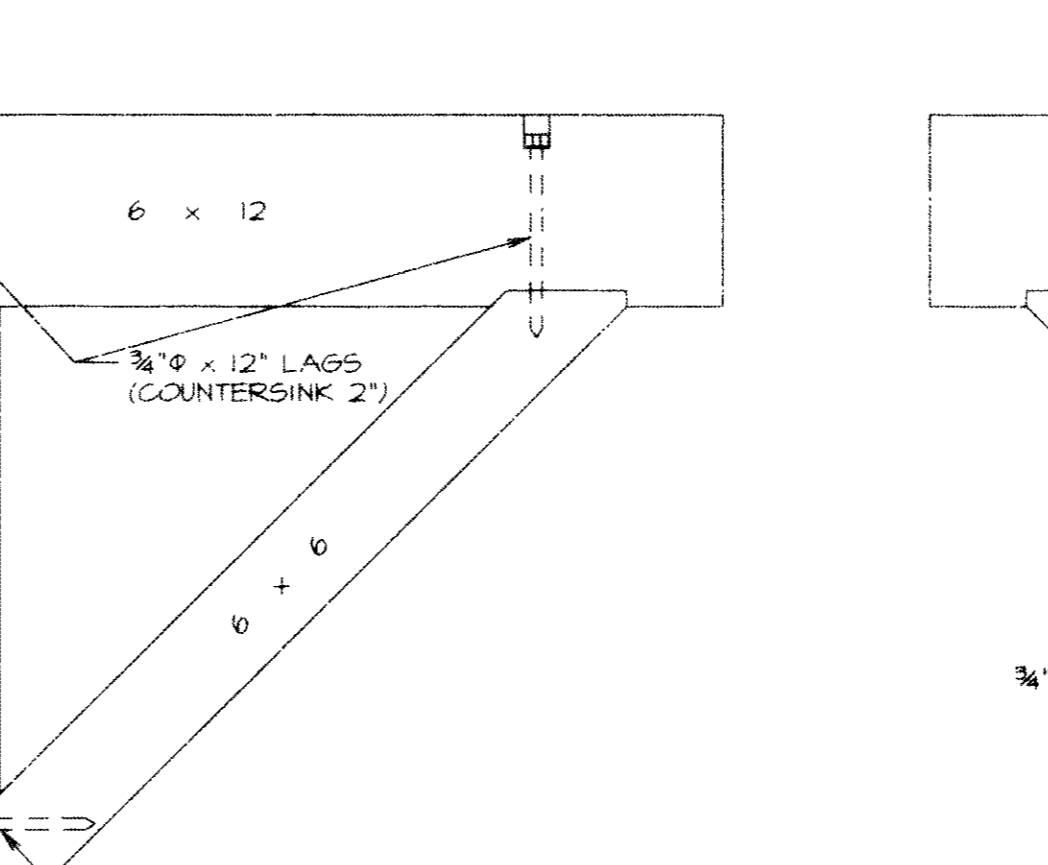
DETAIL M  
 SCALE 1"=1'-0"



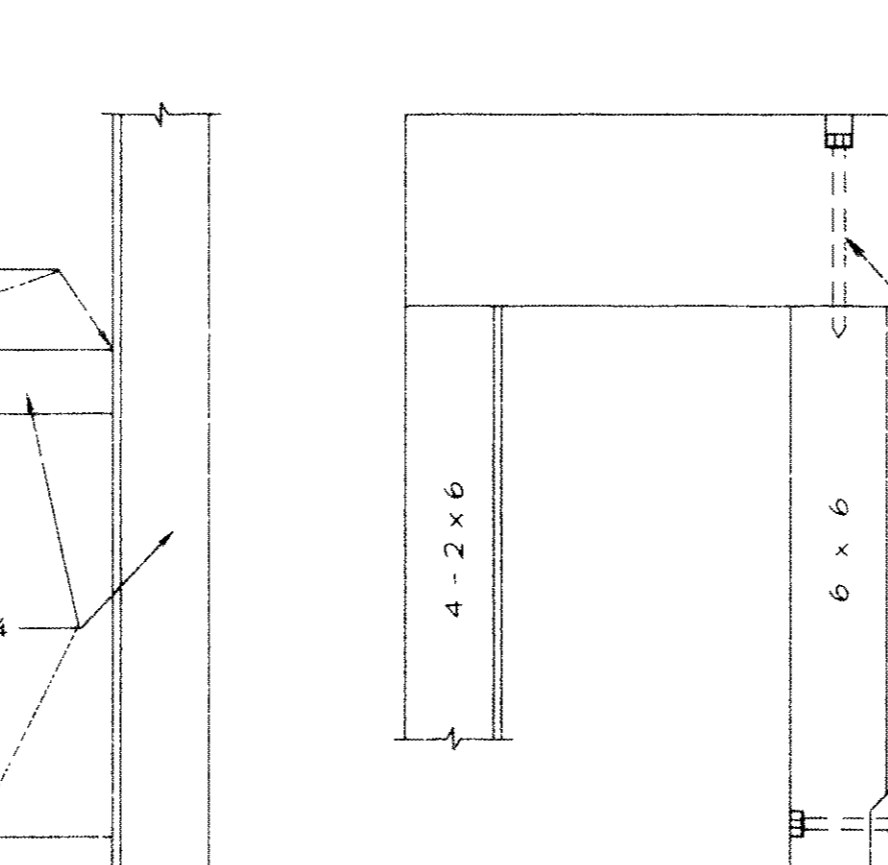
DETAIL N  
 SCALE 2 1/4"=1'-0"



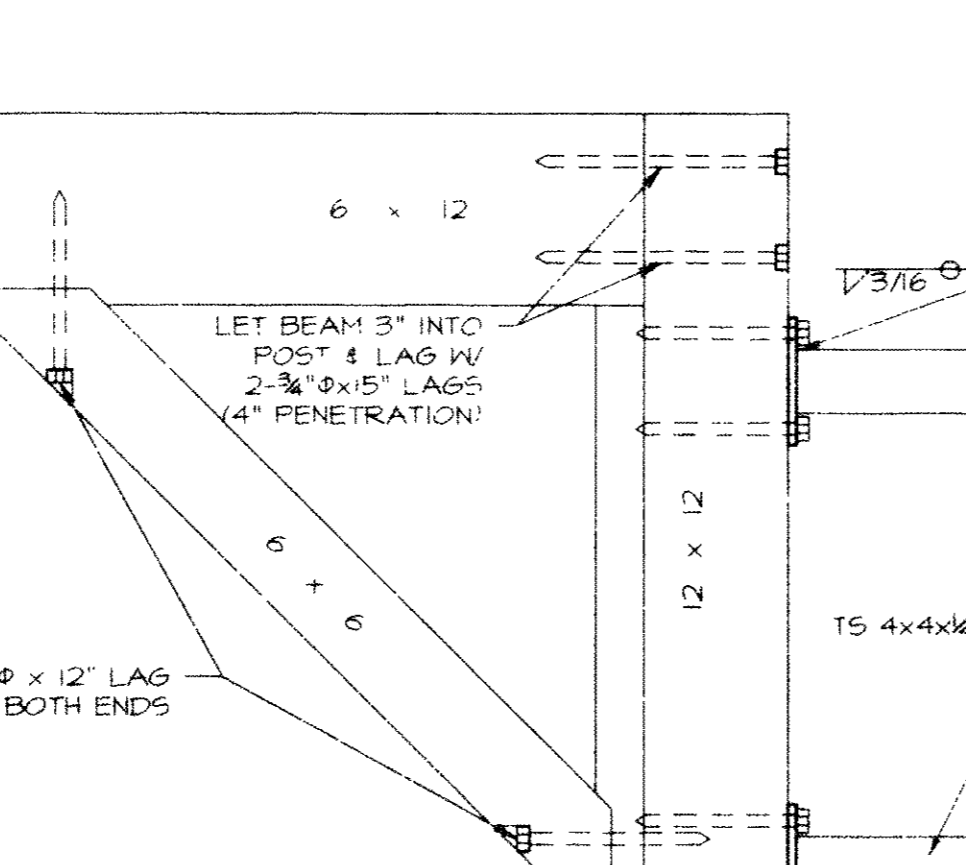
DETAIL O  
 SCALE 2 1/4"=1'-0"



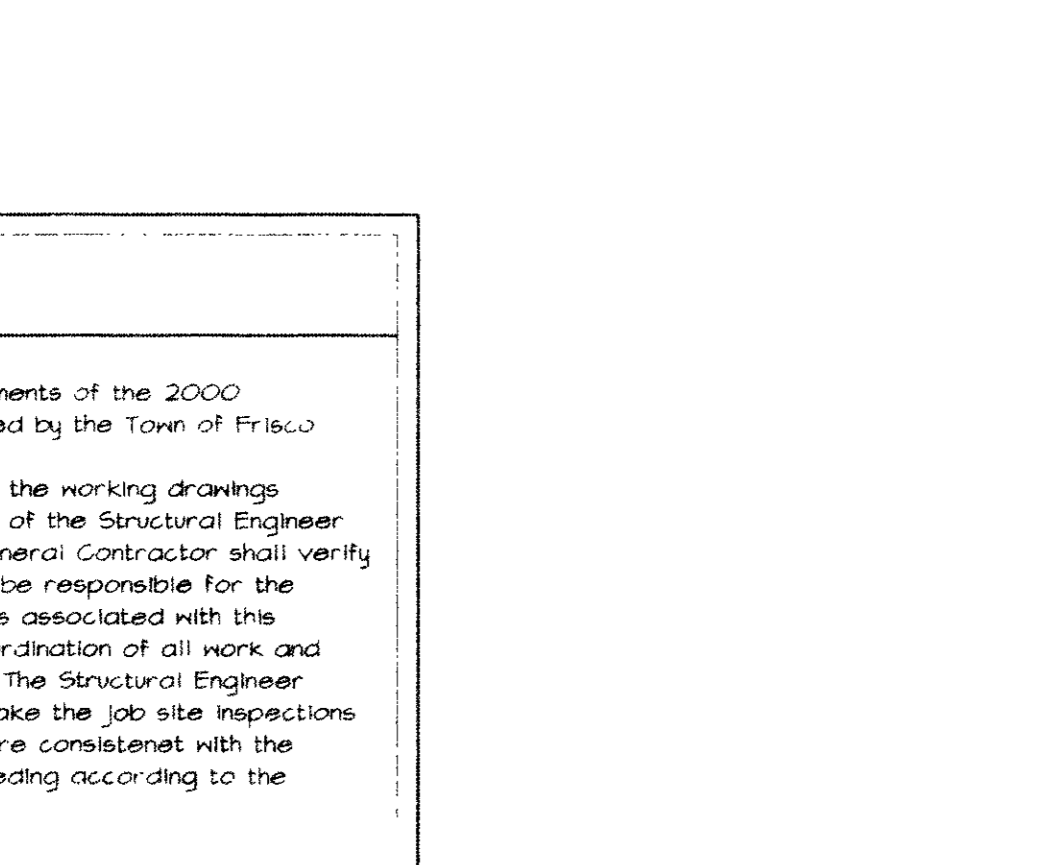
DETAIL P  
 SCALE 2"=1'-0"



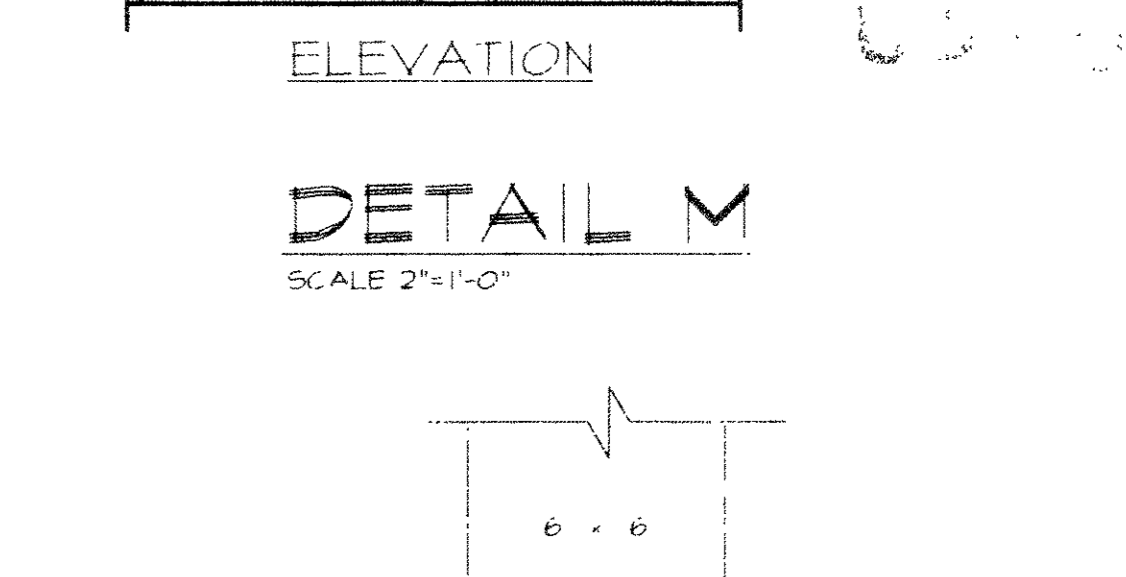
DETAIL Q  
 SCALE 2"=1'-0"



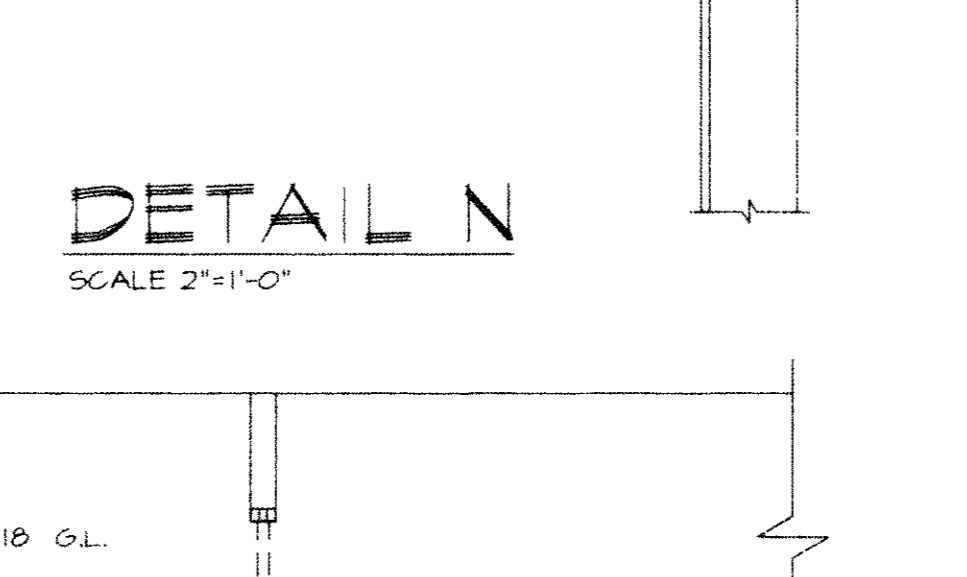
DETAIL R  
 SCALE 2"=1'-0"



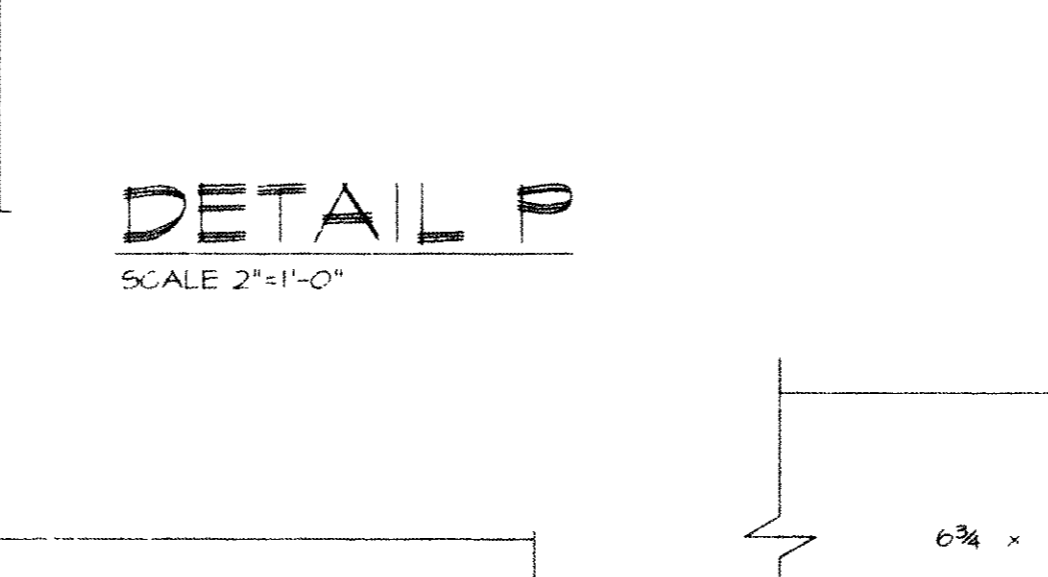
DETAIL S  
 SCALE 1"=1'-0"



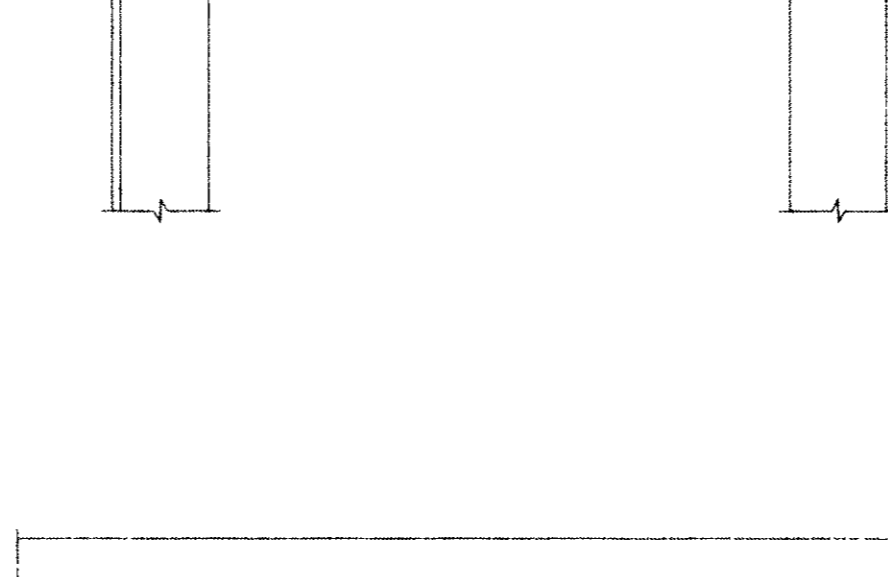
DETAIL T  
 SCALE 1"=1'-0"



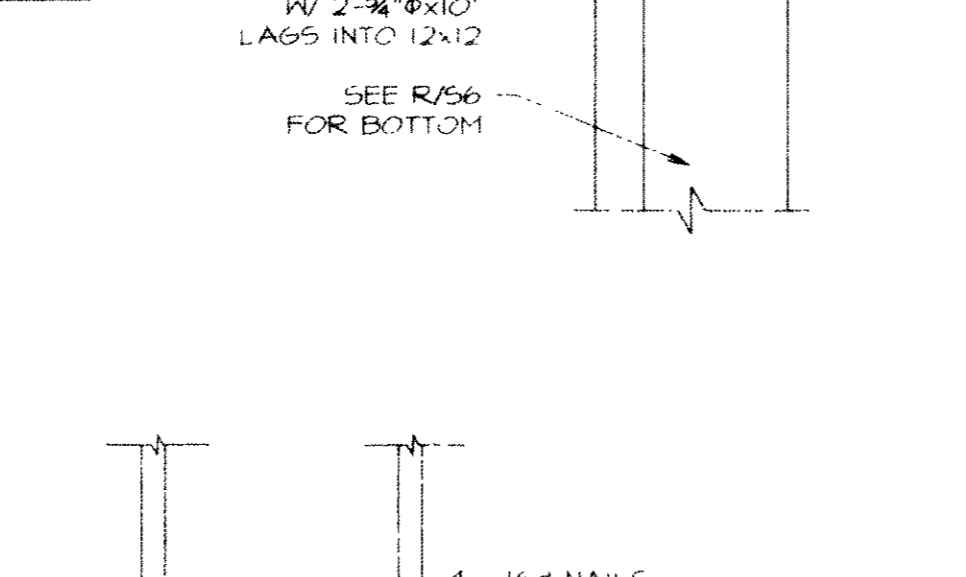
DETAIL U  
 SCALE 1"=1'-0"



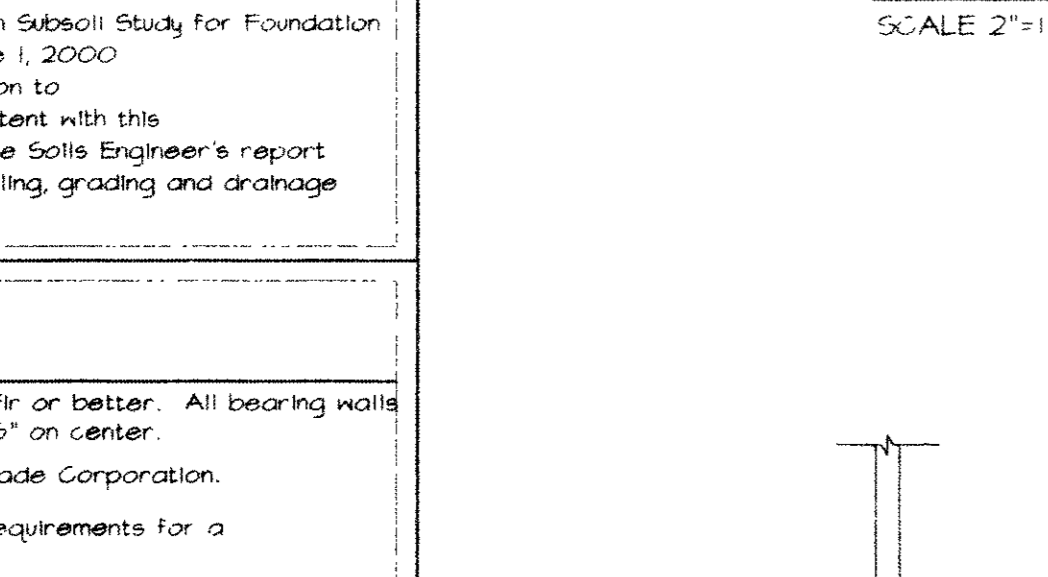
DETAIL V  
 SCALE 1"=1'-0"



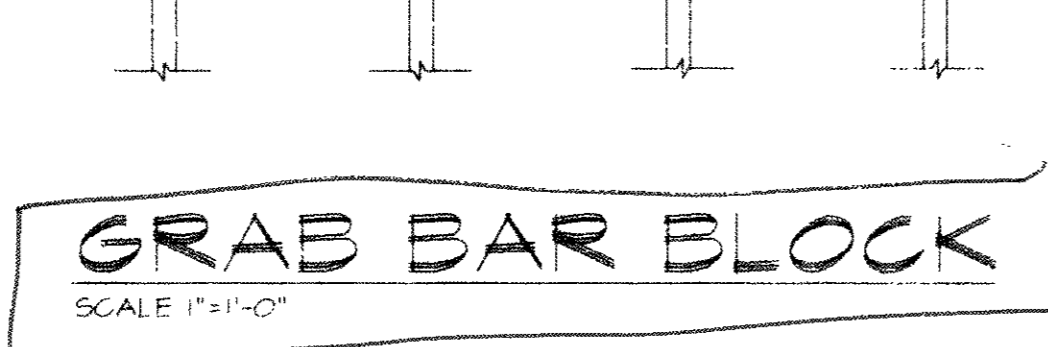
DETAIL W  
 SCALE 1"=1'-0"



DETAIL X  
 SCALE 1"=1'-0"



DETAIL Y  
 SCALE 1"=1'-0"



GRAB BAR BLOCK  
 SCALE 1"=1'-0"



MULTIPLE LVL DETAIL  
 SCALE 1"=1'-0"

**GENERAL NOTES**

This structure has been designed to meet the requirements of the 2000 International Building Code with amendments as adopted by the Town of Frisco.

All omissions or conflicts between various elements of the working drawings and/or specifications shall be brought to the attention of the Structural Engineer before proceeding with any work so involved. The General Contractor shall verify all dimensions and conditions at the job site and shall be responsible for the means, methods, techniques, sequences and procedures associated with this project. Furthermore, he shall be responsible for coordination of all work and materials, including those furnished by subcontractors. The Structural Engineer shall be contacted during the construction phase to make the job site inspections necessary to confirm that the actual field conditions are consistent with the design assumptions and that the construction is proceeding according to the plans and specifications.

Live Loads Used in Design:  
 Roof: 80 psf  
 Residential Floors: 40 psf  
 Office Floors: 50 psf  
 Retail Floors: 100 psf  
 Decks: 80 psf  
 Common Stairs: 100 psf  
 Zone: IBC  
 Wind: 80 mph, Exposure B

The foundation design for this residence is based upon Sbcsoil Study for Foundation Design No. 1400-184 prepared by HRF Geotech on June 1, 2000. The Soil Engineer shall be contacted during excavation to inspect the site and confirm that conditions are consistent with this investigation. The General Contractor should review the Soil Engineer's report and follow its recommendations for excavation, backfilling, grading and drainage systems.

**SPECIFICATIONS**

All 2x dimensional framing lumber shall be #2 Doug-fir or better. All bearing walls and exterior walls to be framed of 2 x 6 studs at 16" on center.

All BCI joists to be manufactured by the Boise Cascade Corporation.

All micropiles to conform to the allowable stress requirements for a 1 1/2" x 8" DR Micropile LVL.

All glulam beams to conform to the allowable stress requirements for a P24-V4 combination beam.

All connection hardware to be by the Simpson Company.

All floor decking to be 3/4" C-D Int. APA 48/24 1/4" plywood. Give decking to joists with #400 and nail with 10d @ 6" o.c. at panel edges and 2" o.c. in the field.

All roof decking to be 3/4" C-C ext. APA 32/16 plywood.

All exterior wall sheathing to be 1/2" OSB. Nail w/8d @ 4" o.c. at panel edges @ 2" o.c. in the field.

All steel bolts shall conform to ASTM A325 specifications.

All tube steel columns shall conform to ASTM A500 specifications.

All steel beams, plate and angles shall conform to ASTM A36 specifications.

All concrete to attain a compressive strength of 3000 psi in 28 days.

All reinforcing bars to be Grade 60.

All masonry block units shall conform to ASTM specification C240, or use H Intermix from BCI, Inc.

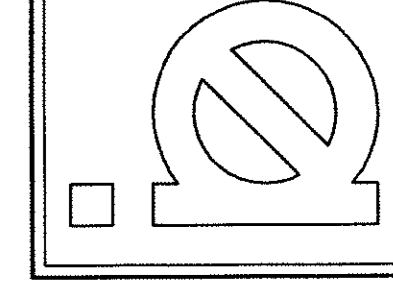
All masonry shall conform to ASTM specification C270, Type S.

DATE: 05/16/02  
 FILE: drakeb-11  
 DRAWN: RJB  
 REVISED:  
 REVISED:

**CORRECTED  
 DETAIL PAGE**

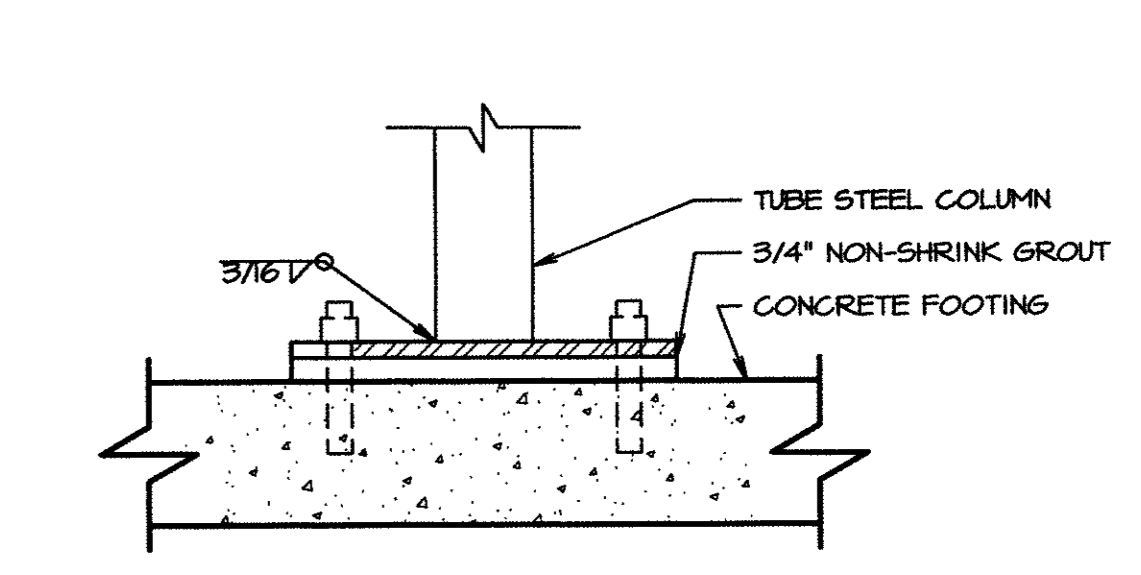
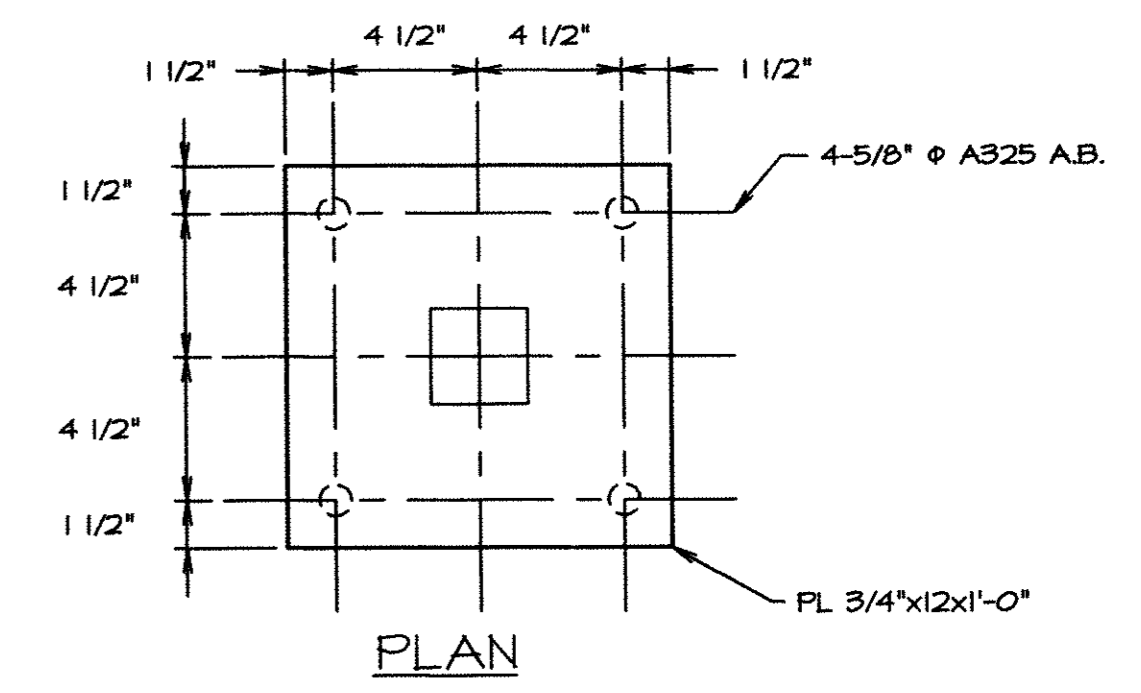
12-3-03  
 03-016

Boyle Engineering, Inc.  
 143 E. meadow dr.  
 crossroads shopping center  
 vail, colorado 81657  
 970/476-2110

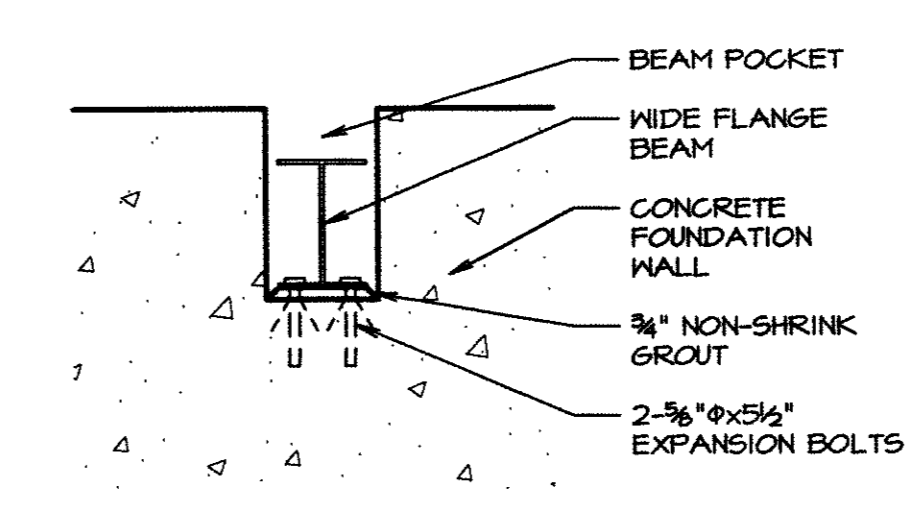


SHEET NUMBER  
**511**

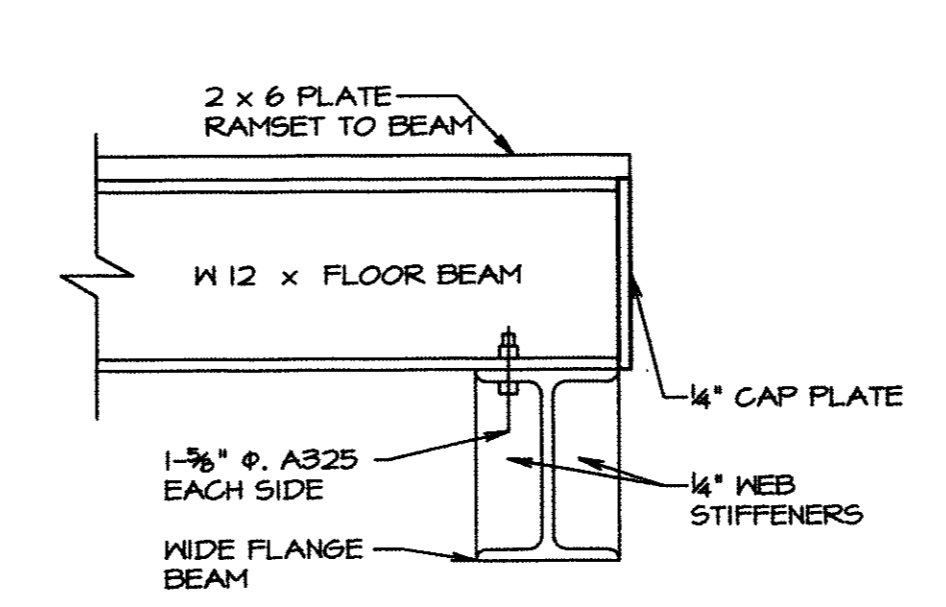
**DRAKE LANDING  
 BUILDING 'B'  
 FRISCO, COLORADO**



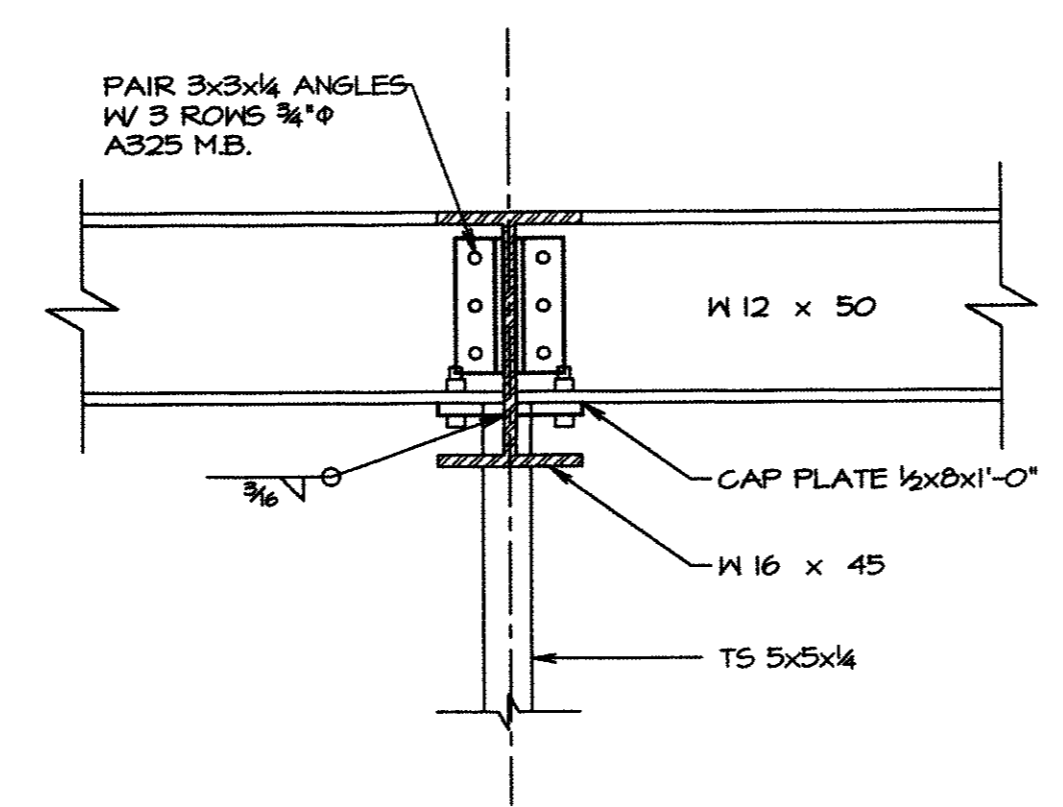
**DETAIL A**  
 SCALE 2"=1'-0"



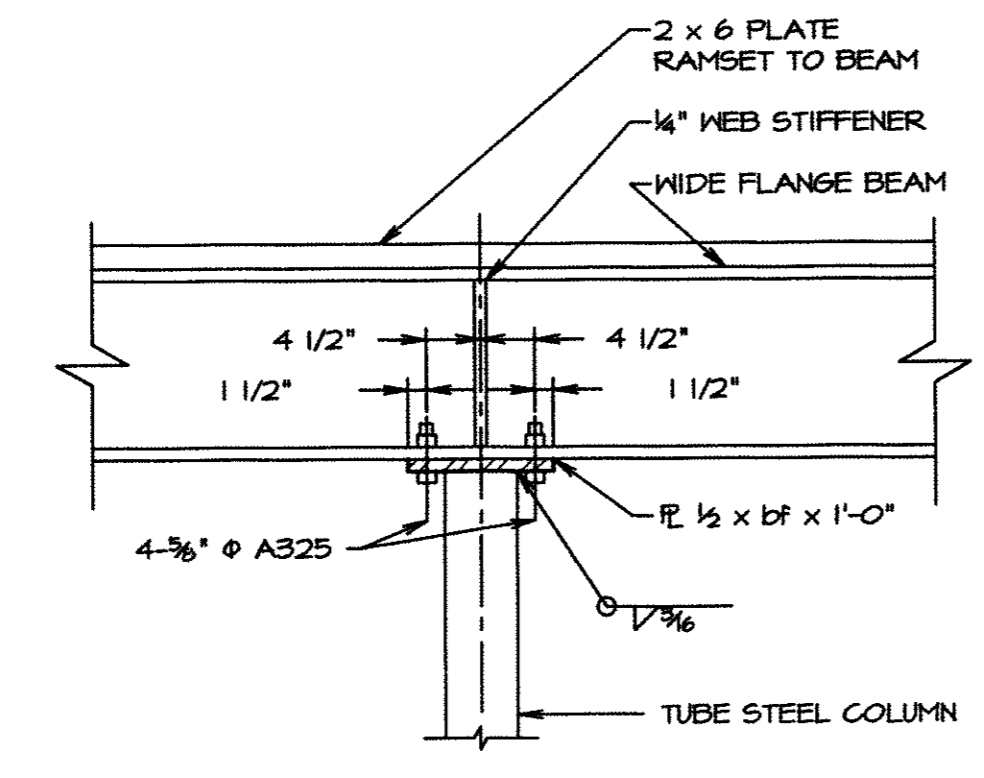
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 SCALE 3/4"=1'-0"



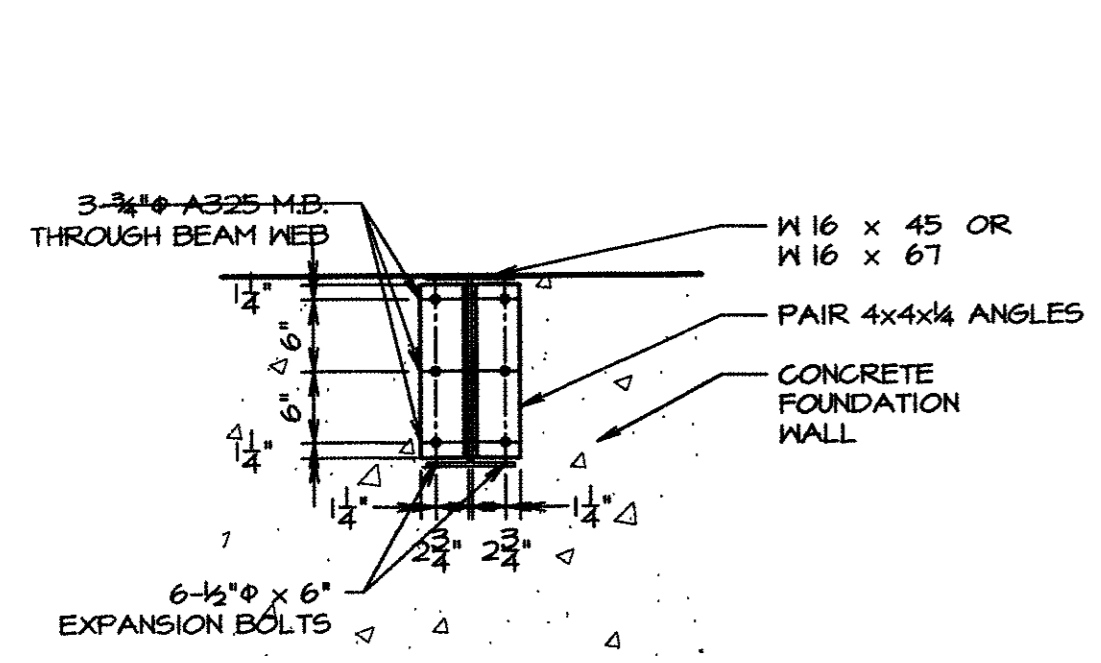
**DETAIL C**  
 SCALE 1/2"=1'-0"



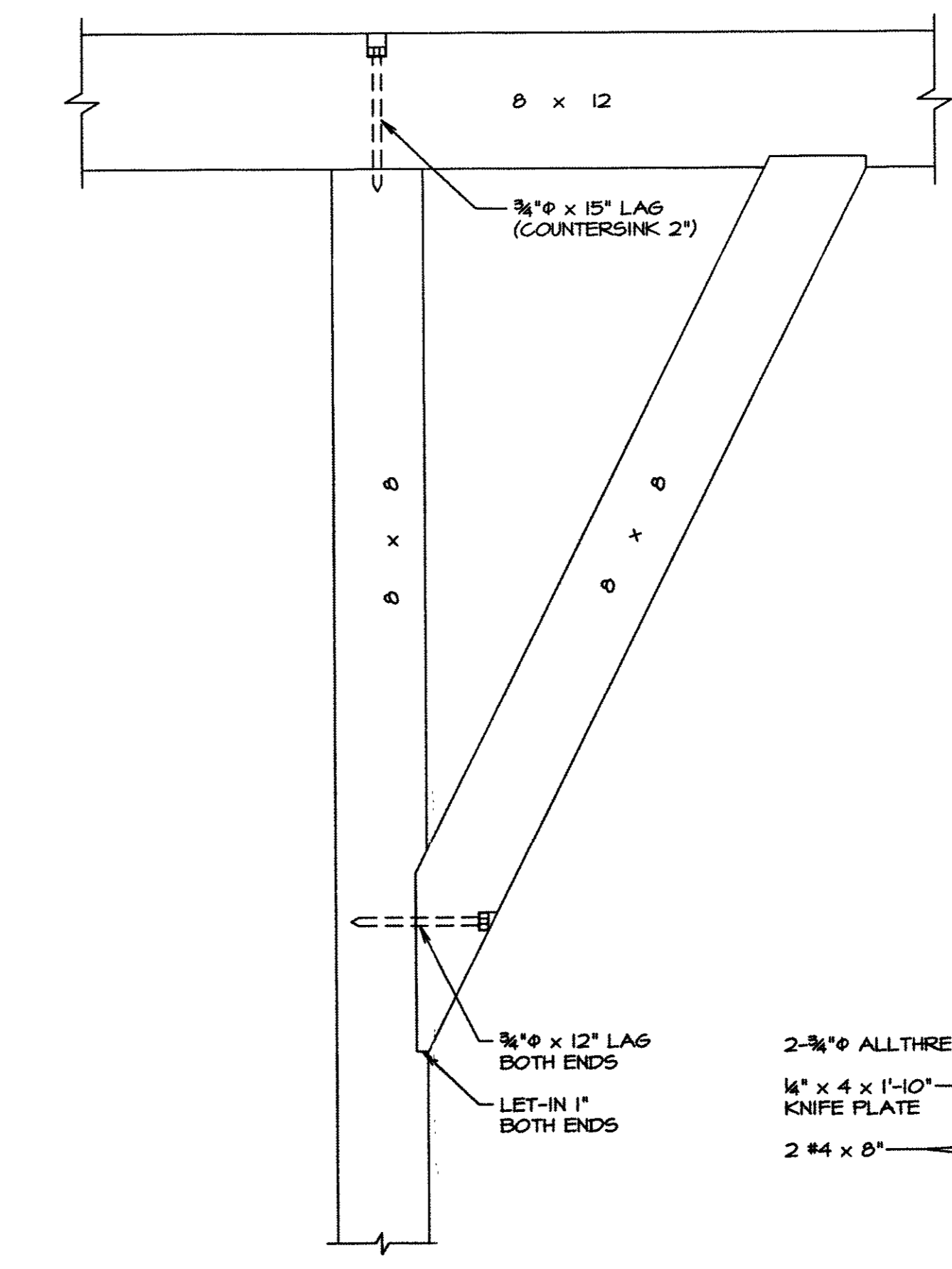
**DETAIL D**  
 SCALE 1"=1'-0"



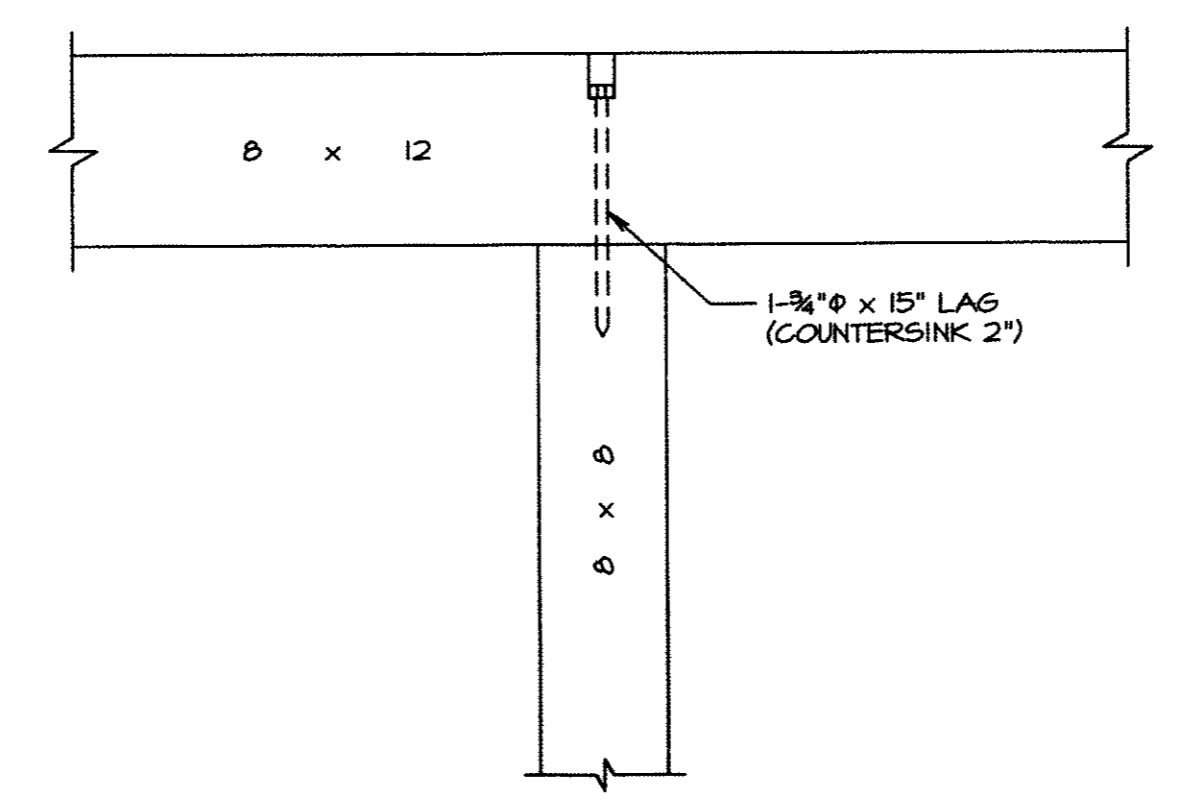
**DETAIL E**  
 SCALE 3/4"=1'-0"



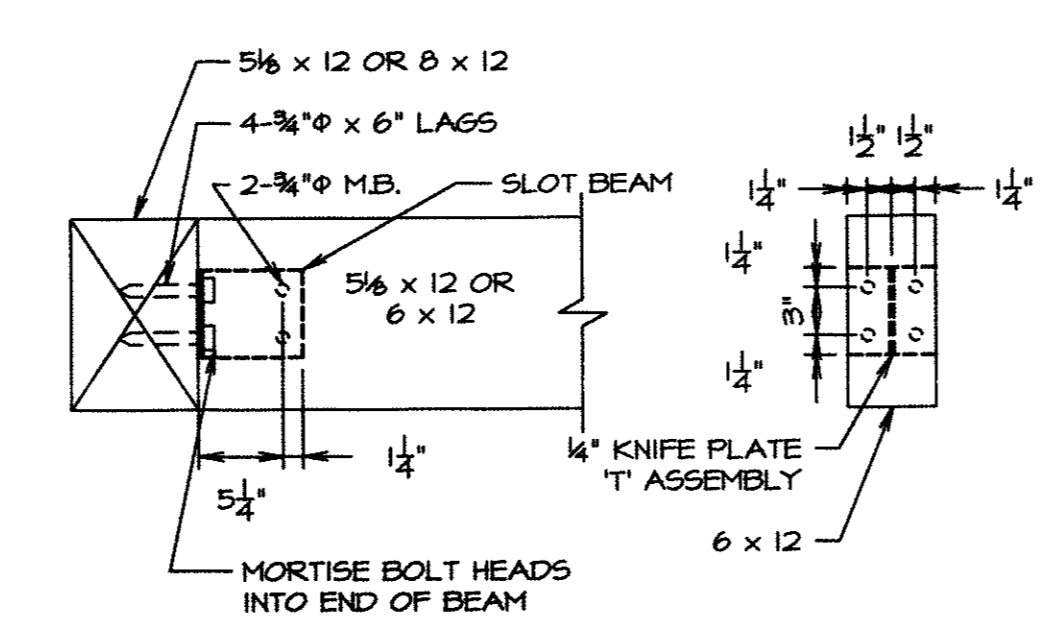
**DETAIL F**  
 SCALE 3/4"=1'-0"



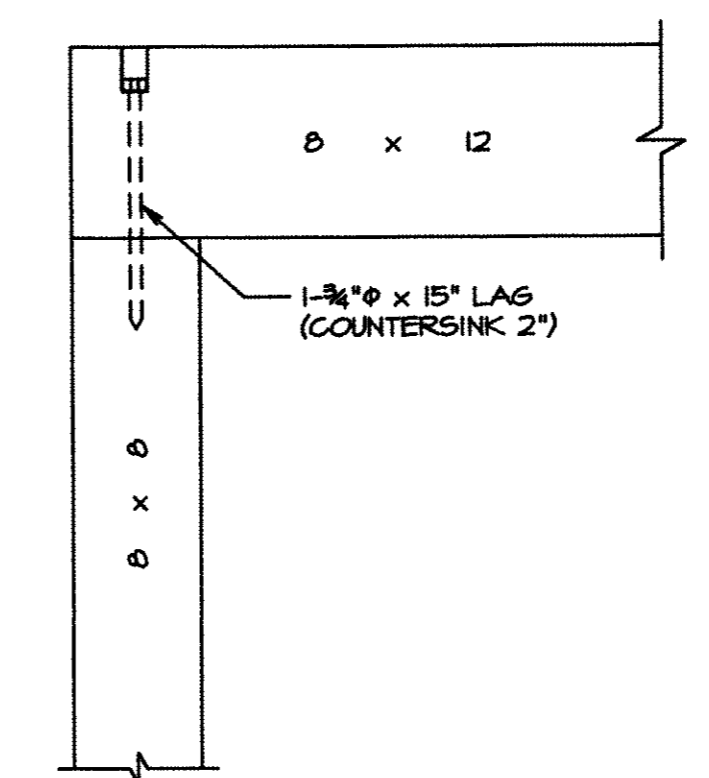
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 SCALE 1"=1'-0"



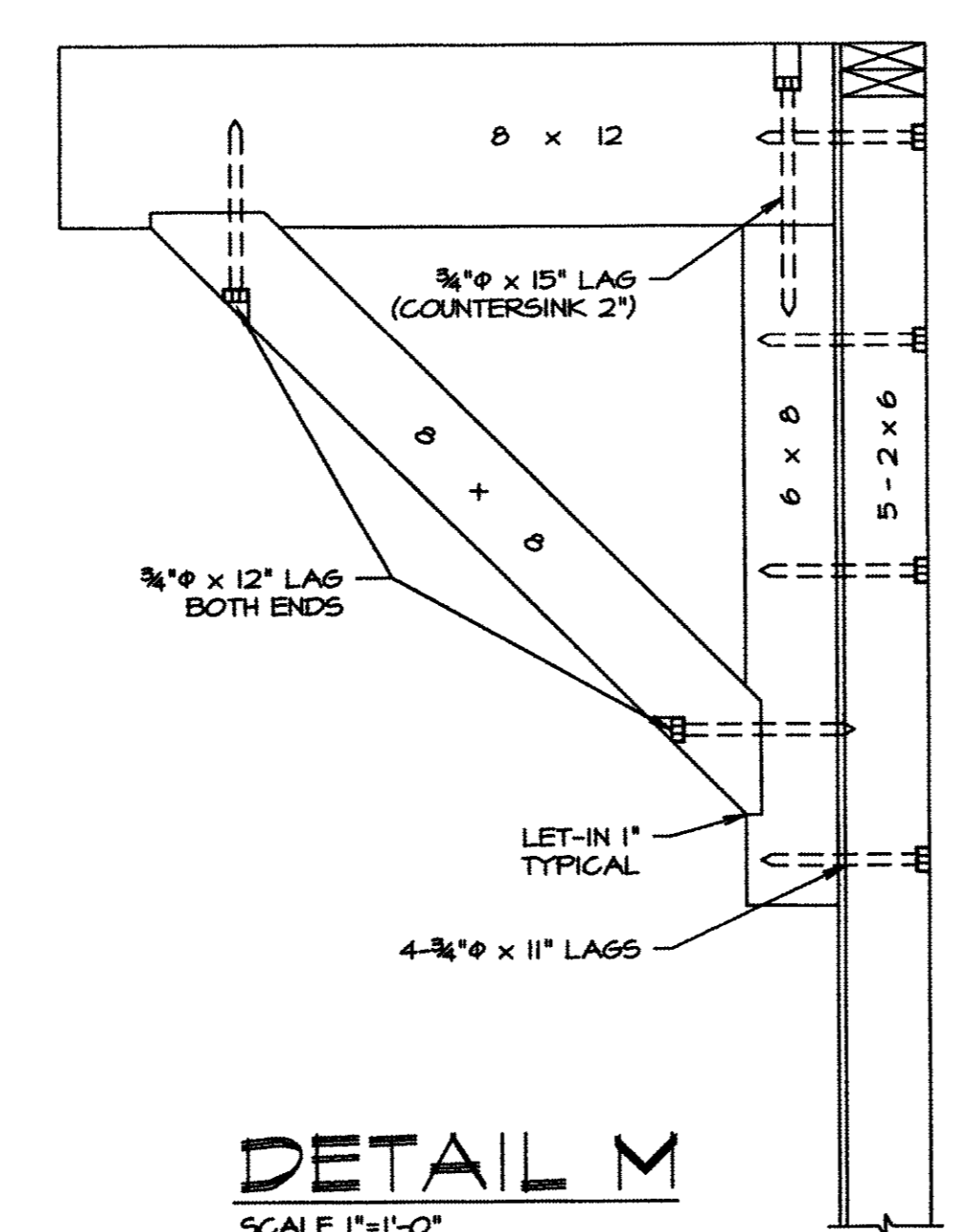
**DETAIL J**  
 SCALE 1"=1'-0"



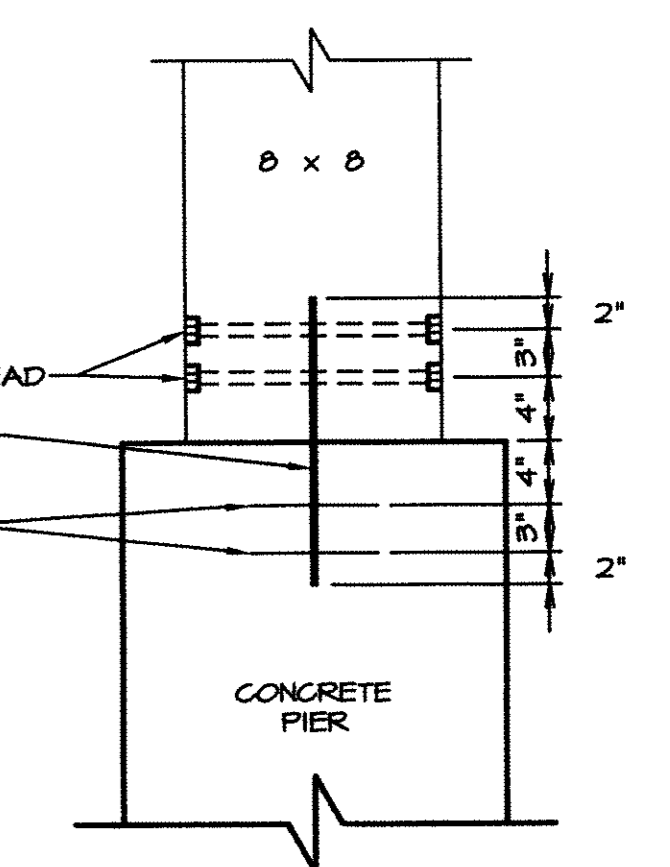
**DETAIL L**  
 SCALE 1"=1'-0"



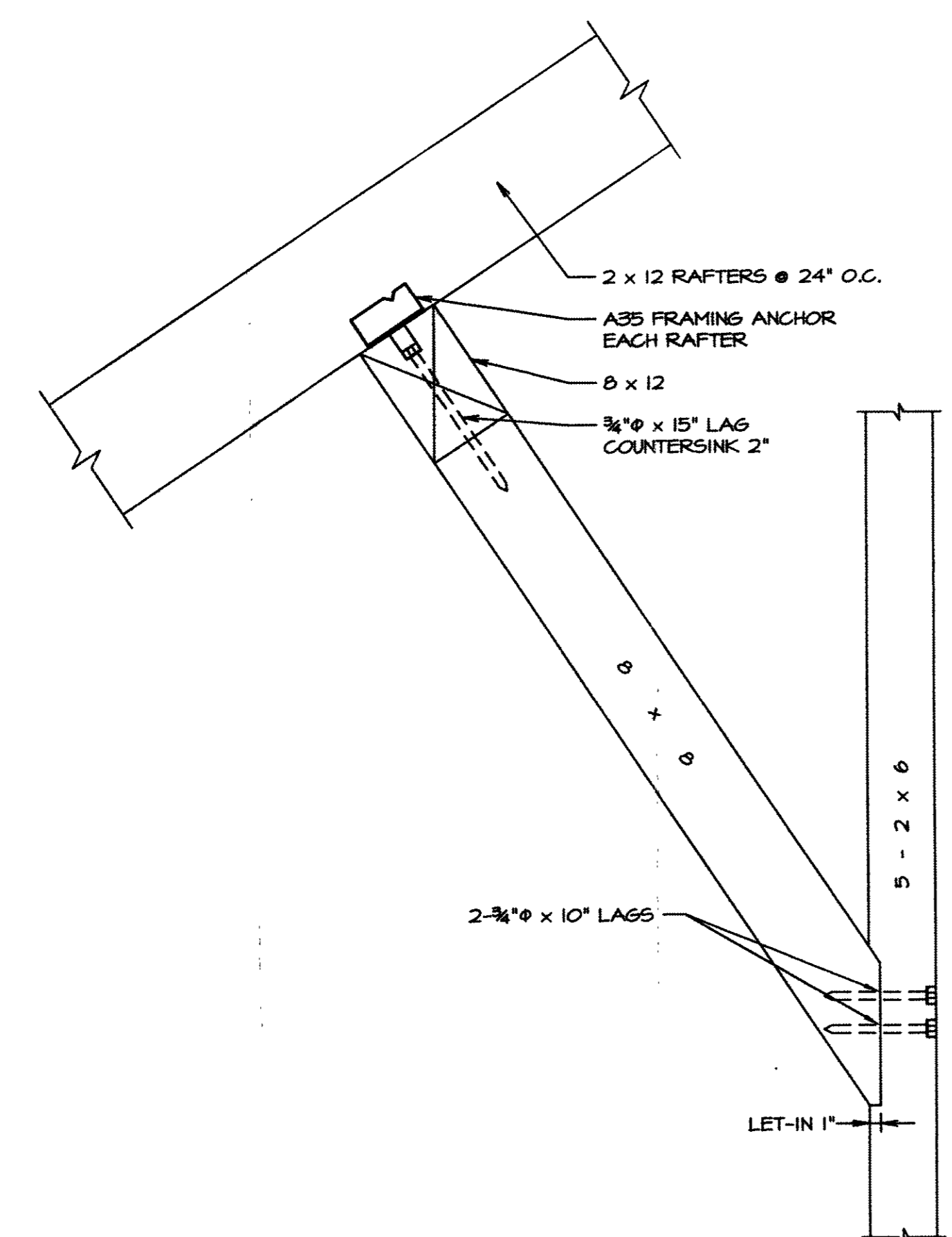
**DETAIL K**  
 SCALE 1"=1'-0"



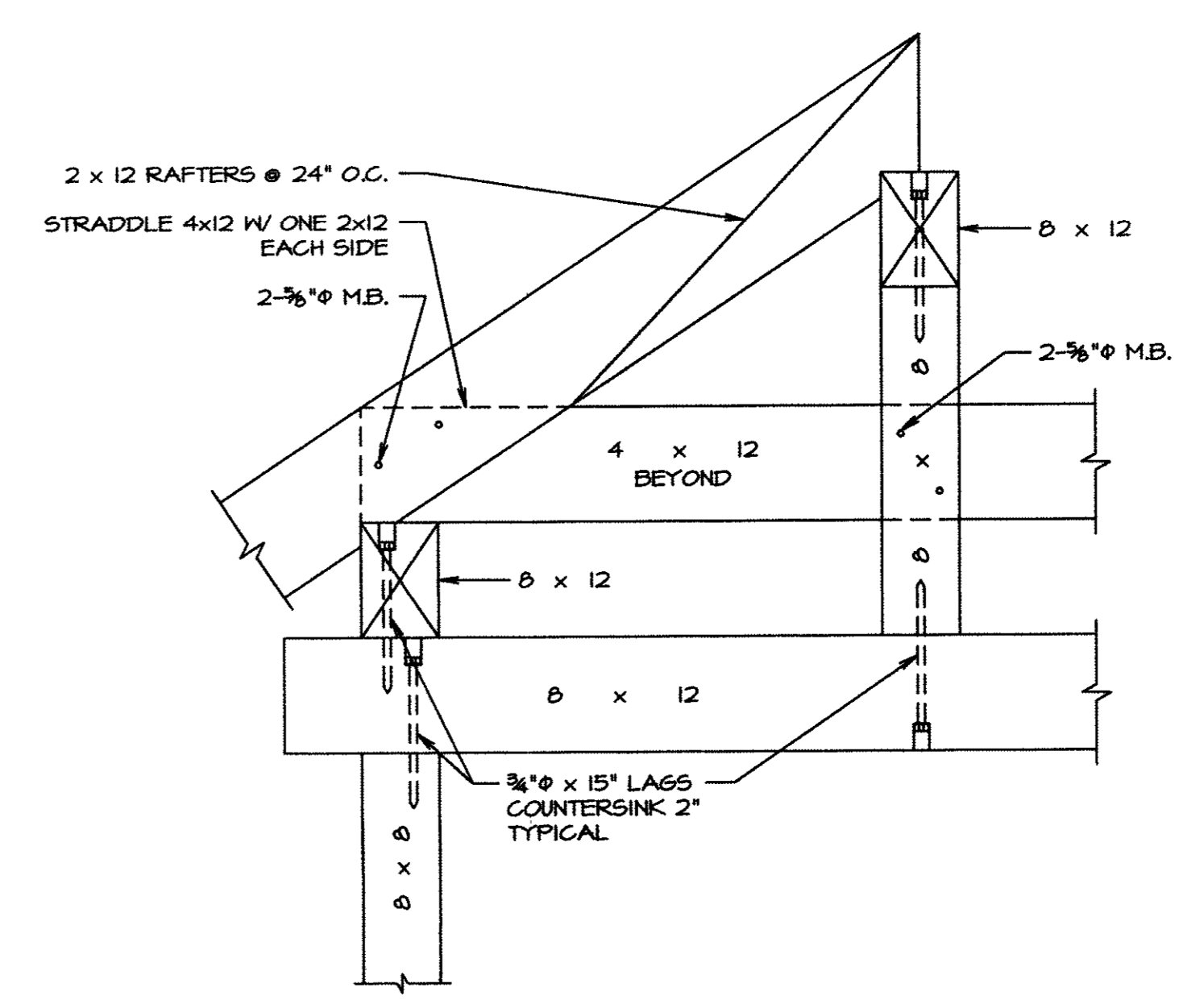
**DETAIL M**  
 SCALE 1"=1'-0"



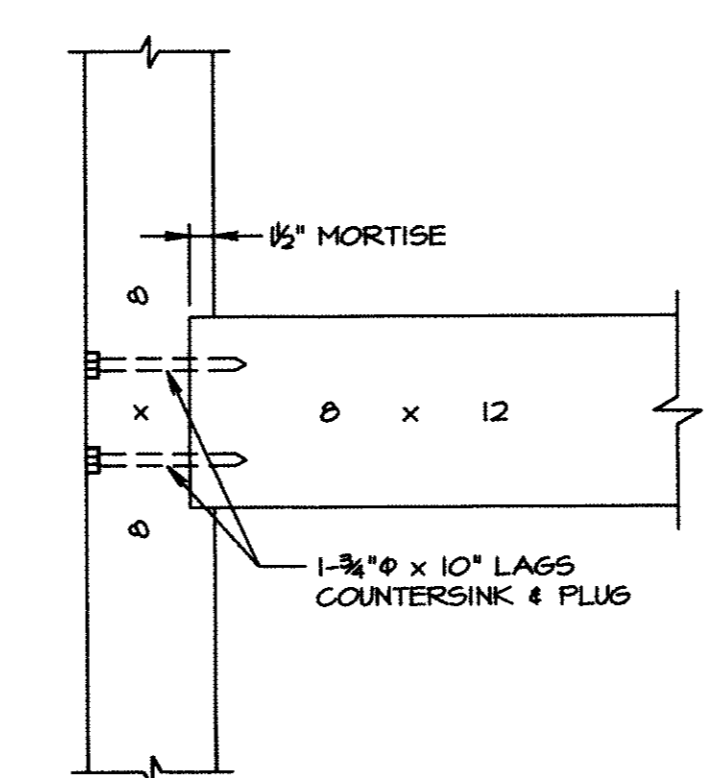
**DETAIL G**  
 SCALE 1"=1'-0"



**DETAIL N**  
 SCALE 1"=1'-0"



**DETAIL P**  
 SCALE 3/4"=1'-0"



**DETAIL Q**  
 SCALE 1"=1'-0"

**GENERAL NOTES**

This structure has been designed to meet the requirements of the 1997 Uniform Building Code with amendments as adopted by the Town of Frisco.

All omissions or conflicts between various elements of the working drawings and/or specifications shall be brought to the attention of the Structural Engineer before proceeding with any work so involved. The General Contractor shall verify all dimensions and conditions at the job site and shall be responsible for the design, methods, techniques, sequences and procedures associated with this project. Furthermore, he shall be responsible for coordination of all work and materials including those furnished by subcontractors. The Structural Engineer shall be contacted during the construction phase to make the job site inspections necessary to confirm that the actual field conditions are consistent with the design assumptions and that the construction is proceeding according to the plans and specifications.

Live Loads Used in Design:  
 Roof: 80 psf  
 Public Access Floors: 100 psf  
 Rattle Deck: 100 psf  
 Garage Slabs: 100 psf and concentrated load per UBC Section 1607.3.3  
 Earthquake: Zone 1 UBC  
 Wind: 80 mph, Exposure B

The foundation design for this residence is based upon Site Soil Study for Foundation Design No. 400 134 prepared by H-P Geotech on June 1, 2000.  
 The Soils Engineer shall be contacted during excavation to inspect the site and confirm that conditions are consistent with this investigation. The General Contractor should review the Soils Engineer's report and follow its recommendations for excavation, backfilling, grading and drainage systems.

**SPECIFICATIONS**

All 2x dimensional framing lumber shall be #2 Doug-Fir or better. All bearing walls and exterior walls to be framed of 2 x 6 studs @ 16" on center.  
 All T.J. joists to be manufactured by True-Joist MacMillan.

All micro-lam's to conform to the allowable stress requirements for a 1 1/4" DP Micro-lam LVL.

All 6x6-lam beams to conform to the allowable stress requirements for a 1 1/4" DP Micro-lam LVL.

All connection hardware to be by the Simpson Company.

All floor decking to be 3/4" C-D in APA 48/24 1/4 g plywood. 6x6 decking to joggle with PISO and nail with 10d @ 6" o.c. at panel edges and 12" o.c. in the field.

All roof decking to be 3/4" C-C ext APA 32/6 plywood.

All exterior wall sheathing to be 1/2" OSB. Nail w/8d @ 4" o.c. at panel edges & @ 12" o.c. in the field.

All steel bolts shall conform to ASTM A325 specifications.

All tube steel columns shall conform to ASTM A500 specifications.

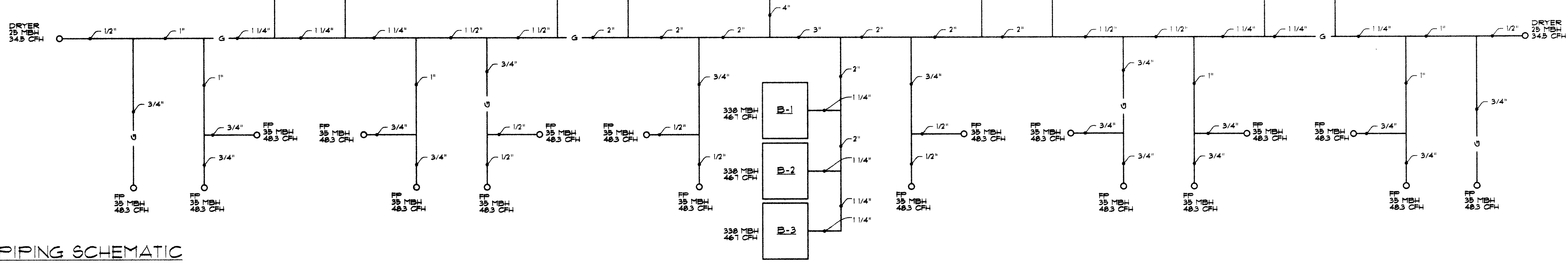
All steel beams, plate and angles shall conform to ASTM A36 specifications.

All concrete to attain a compressive strength of 3000 psi in 28 days.

All reinforcing bars to be Grade 60.

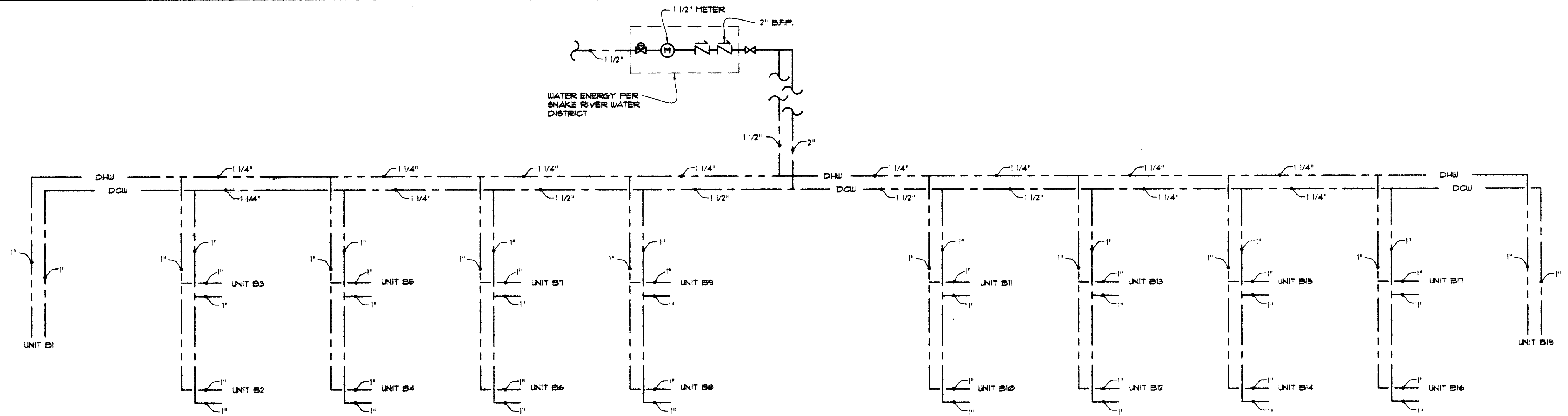
All masonry block units shall conform to ASTM specification C40, Grade N (minimum fm=1350 psi)

All mortar shall conform to ASTM specification C270, Type S



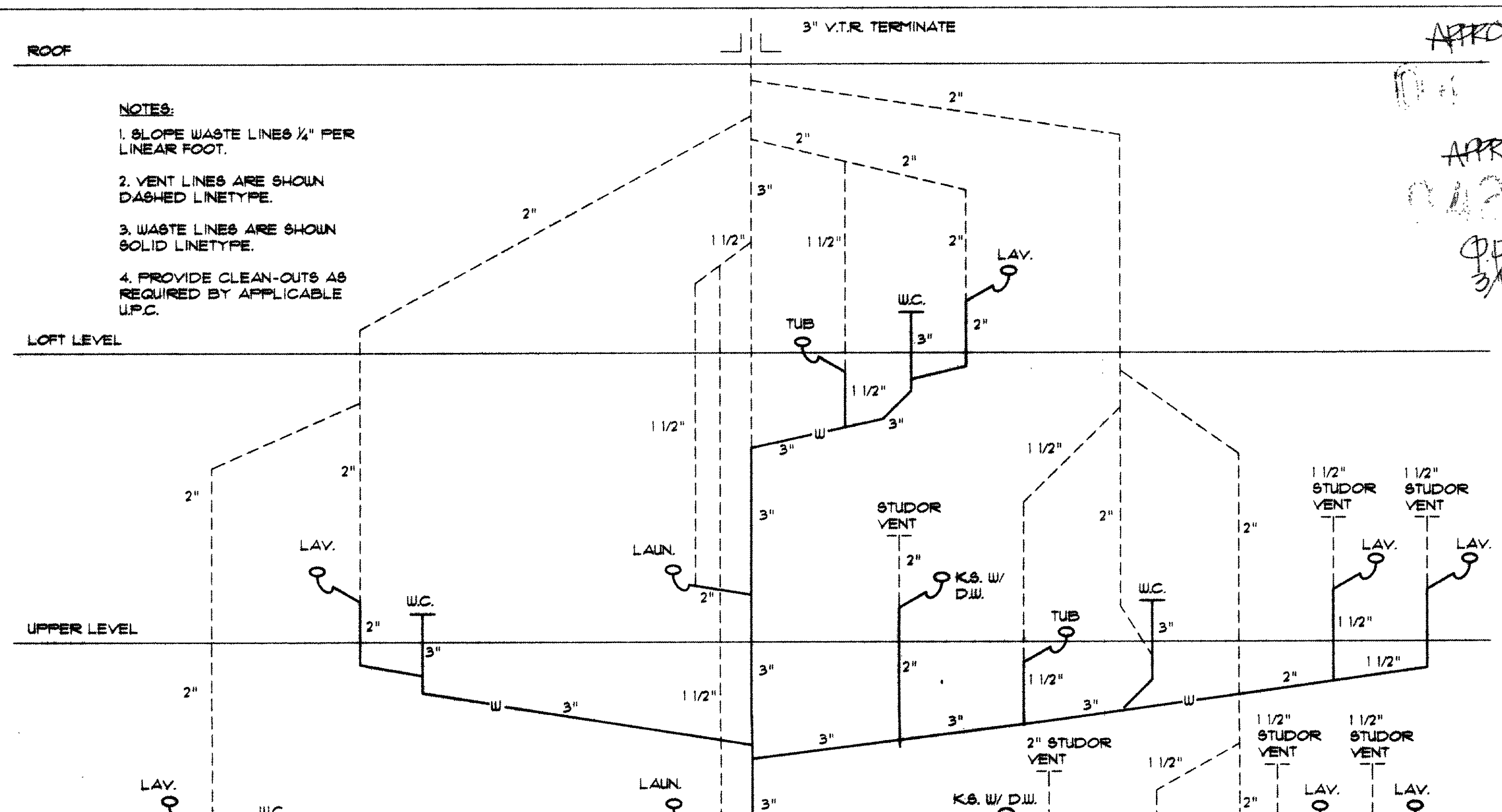
**GAS PIPING SCHEMATIC**  
NO SCALE

(A)



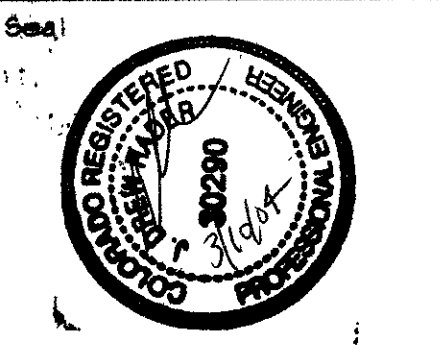
**DOMESTIC WATER SCHEMATIC**  
NO SCALE

(B)



- NOTES:**
1. SLOPE WASTE LINES 1/4" PER LINEAR FOOT.
  2. VENT LINES ARE SHOWN DASHED LINETYPE.
  3. WASTE LINES ARE SHOWN SOLID LINETYPE.
  4. PROVIDE CLEAN-OUTS AS REQUIRED BY APPLICABLE U.P.C.

APPROVED  
04/21/04  
042104  
3/18/04



**DRAKE LANDING  
BUILDING "B"  
FRISCO, COLORADO**

Issued For

No.	Date	Comment
1	3/18/04	CD's

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# PROGRAM SUMMARY

**TOTAL GROSS FLOOR AREA = 83,595 SF (including Garages)**

16,984 SF TOTAL COMMERCIAL FLOOR AREA

52,813 SF TOTAL RESIDENTIAL FLOOR AREA

11,858 SF GARAGE FLOOR AREA

(3) COMMON AREAS (each to include seating, a public art piece, and special seasonal plantings.)

## COMMERCIAL USES

**BUILDING 'A' - APPROX. 7,551 SF**

(6,483 SF Ground Floor; 1068 SF Upper Level)

**BUILDING 'E' - APPROX. 9,433 SF**

(8,365 SF Ground Floor; 1068 SF Upper Level)

**COMMERCIAL PARKING:** (45) SPACES REQUIRED @ 1 PER 350SF

(30) OFF-STREET SURFACE SPACES PROVIDED + (15) ON-STREET SPACES

## RESIDENTIAL USES

**BUILDING 'A' - APPROX. 6,582 SF (5 UNITS) (Upper Level -**

4 Units - 1 Bedroom w/ Loft ; 1 Units - 1 Bedroom)

**BUILDING 'E' - APPROX. 9,378SF (7 UNITS) (Upper Level -**

6 Units - 1 Bedroom w/ Loft ; 1 Units - 1 Bedroom)

**BUILDING 'B' - APPROX. 19,900 (18 UNITS)**

(Lower Level - 2 Units - 2 Bedroom ; 8 Units - 1 Bedroom)

(Upper Level - 8 Units - 1 Bedroom w/ Loft)

**BUILDING 'C' - APPROX. 10,020 SF (9 UNITS)**

(Lower Level - 1 Unit - 2 Bedroom ; 4 Units - 1 Bedroom)

(Upper Level - 4 Units - 1 Bedroom w/ Loft)

**BUILDING 'D' - APPROX. 6,933 SF (7 UNITS)**

(Upper Level above Garages -

5 Units - 1 Bedroom w/ Loft; 2 Units - 2 Bedroom w/ Loft)

**BUILDING 'F' - APPROX. 504 SF (Spas) ; 288 SF (Storage)**

**RESIDENTIAL UNIT MIX:** (46) UNITS TOTAL

(3) 2 Bedroom

(2) 2 Bedroom w/ Loft

(27) 1 Bedroom w/ Loft

(14) 1 Bedroom

**RESIDENTIAL PARKING:** (103) SPACES REQUIRED:

(38) GARAGE SPACES PROVIDED (24' X 11.5' EA. TYP.)

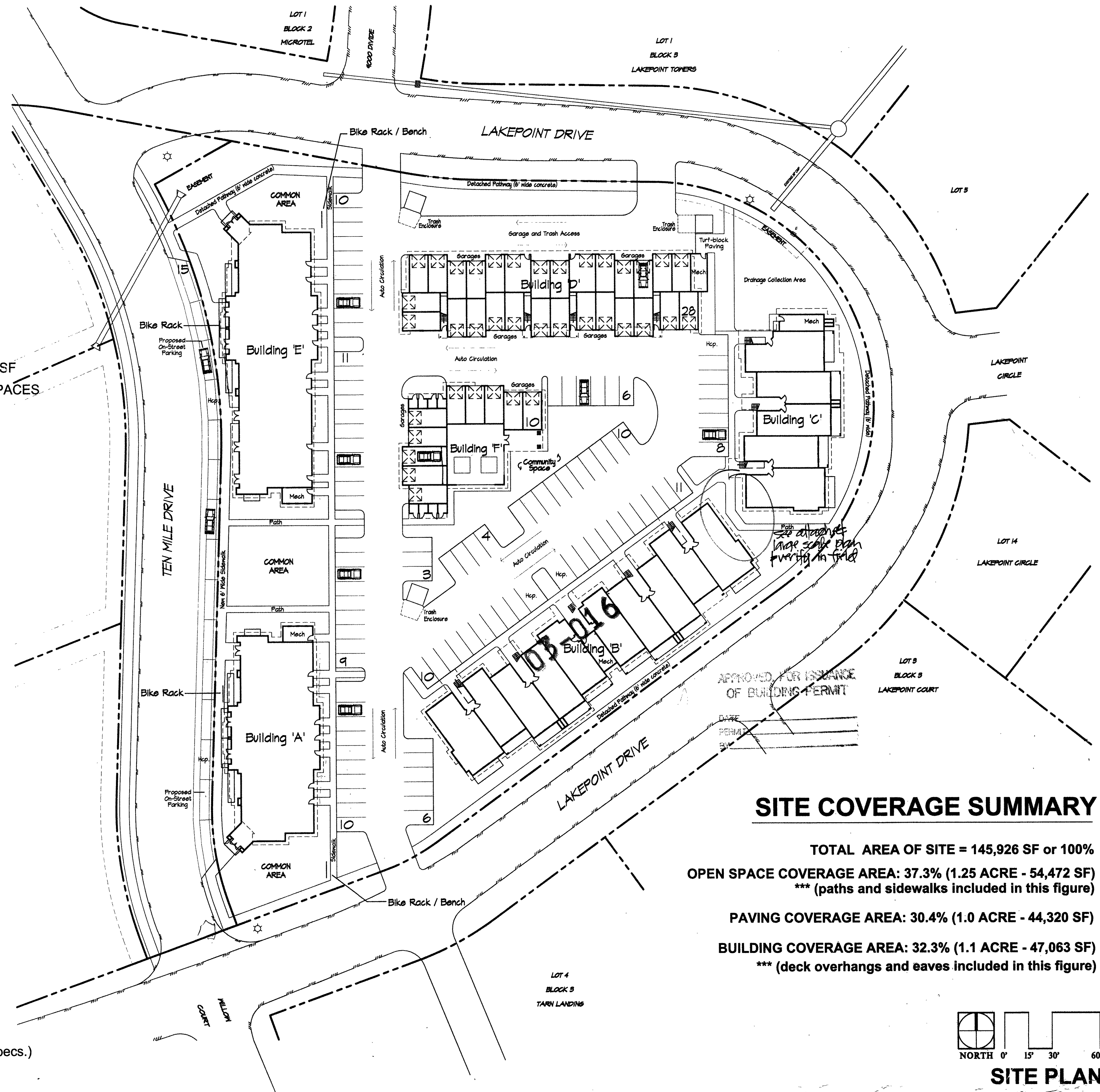
(65) SURFACE PARKING SPACES PROVIDED

\* These calculations assume (15) on-street parking spaces supplement the total parking requirement for the project. Under this scenario, the residential parking requirement is fully met.

**BIKE PARKING - (7) bike spaces provided in**

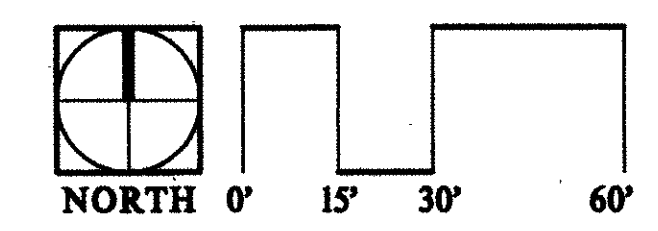
(4) bike racks. (2) Combination Bike Rack Benches with (4) spaces each.

(2) Heavy Duty Wind Rack with (11) spaces each (please see pictures / specs.)



## SITE COVERAGE SUMMARY

**TOTAL AREA OF SITE = 145,926 SF or 100%**  
**OPEN SPACE COVERAGE AREA: 37.3% (1.25 ACRE - 54,472 SF)**  
 \*\*\* (paths and sidewalks included in this figure)  
**PAVING COVERAGE AREA: 30.4% (1.0 ACRE - 44,320 SF)**  
**BUILDING COVERAGE AREA: 32.3% (1.1 ACRE - 47,063 SF)**  
 \*\*\* (deck overhangs and eaves included in this figure)



**SITE PLAN**

**MARKETPLACE ARCHITECTS**  
 115 Village Place  
 Post Office Box 6318  
 Dillon, Colorado 80435  
 (970) 468-8583 phone  
 (970) 468-262-0565 fax

**DESIGN WORKSHOP**  
 Landscape Architecture • Land Planning • Urban Design  
 59 S. FRONTAGE RD. SUITE 02 VAIL, COLORADO 81657  
 PHONE: 970-456-4408 FACSIMILE: 970-456-4409

**ENGINEERS & SURVEYORS**  
 P.O. Box 589  
 Silverthorne, CO 80468  
 (970) 466-8291

**DRAKE LANDING**  
 Lot 4R, Resubdivision of Lot 2, Block 1, Lakepoint at Frisco  
 Town of Frisco, Colorado

Drawn by: PMC / JL  
 Date: 6/1/00  
 SCALE: 1" = 30' - 0"

**A -**