

- NOTES**
- 1 Under floor ground surface area to be covered with 6-mil polyethylene vapor barrier
  - 2 Crawl space venting to equal 5.4 sf min (778 sq in) (1 sf of vent per 1500 sf of under floor area)
  - 3 Seven vents (128 sq in vent area each) provided 896 sq inches total venting
  - 4 Steel Columns and Beams Shall be Protected by Spray Applied Fire Resistive Coating for 1 HR Fire Rating

**CRAWL SPACE PLAN**

**DRAKE LANDING  
BUILDING E**

Marketplace Architects  
June 19, 2002

02-015

# PROGRAM SUMMARY

**TOTAL GROSS FLOOR AREA = 82,447 SF (including Garages)**

- 16,984 SF TOTAL COMMERCIAL FLOOR AREA
- 53,605 SF TOTAL RESIDENTIAL FLOOR AREA
- 11,858 SF GARAGE FLOOR AREA
- (3) COMMON AREAS

## COMMERCIAL USES

BUILDING 'A' - APPROX. 7,551 SF

(6,483 SF Ground Floor; 1068 SF Upper Level)

BUILDING 'E' - APPROX. 9,433 SF

(8,365 SF Ground Floor; 1068 SF Upper Level)

**COMMERCIAL PARKING:** (45) SPACES REQUIRED @ 1 PER 350SF

(30) OFF-STREET SURFACE SPACES PROVIDED + (15) ON-STREET SPACES

## RESIDENTIAL USES

BUILDING 'A' - APPROX. 6,582 SF (5 UNITS) (Upper Level -

4 Units - 1 Bedroom w/ Loft ; 1 Units - 1 Bedroom)

BUILDING 'E' - APPROX. 9,378SF (7 UNITS) (Upper Level -

6 Units - 1 Bedroom w/ Loft ; 1 Units - 1 Bedroom)

BUILDING 'B' - APPROX. 19,900 (18 UNITS)

(Lower Level - 2 Units - 2 Bedroom ; 8 Units - 1 Bedroom)

(Upper Level - 8 Units - 1 Bedroom w/ Loft)

BUILDING 'C' - APPROX. 10,020 SF (9 UNITS)

(Lower Level - 1 Unit - 2 Bedroom ; 4 Units - 1 Bedroom)

(Upper Level - 4 Units - 1 Bedroom w/ Loft)

BUILDING 'D' - APPROX. 6,933 SF (7 UNITS)

(Upper Level above Garages -

5 Units - 1 Bedroom w/ Loft; 2 Units - 2 Bedroom w/ Loft)

BUILDING 'F' - APPROX. 504 SF (Spas) ; 288 SF (Storage)

**RESIDENTIAL UNIT MIX:** (46) UNITS TOTAL

- (3) 2 Bedroom
- (2) 2 Bedroom w/ Loft
- (27) 1 Bedroom w/ Loft
- (14) 1 Bedroom

**RESIDENTIAL PARKING:** (103) SPACES REQUIRED:

(38) GARAGE SPACES PROVIDED (24' X 11.5' EA. TYP.)

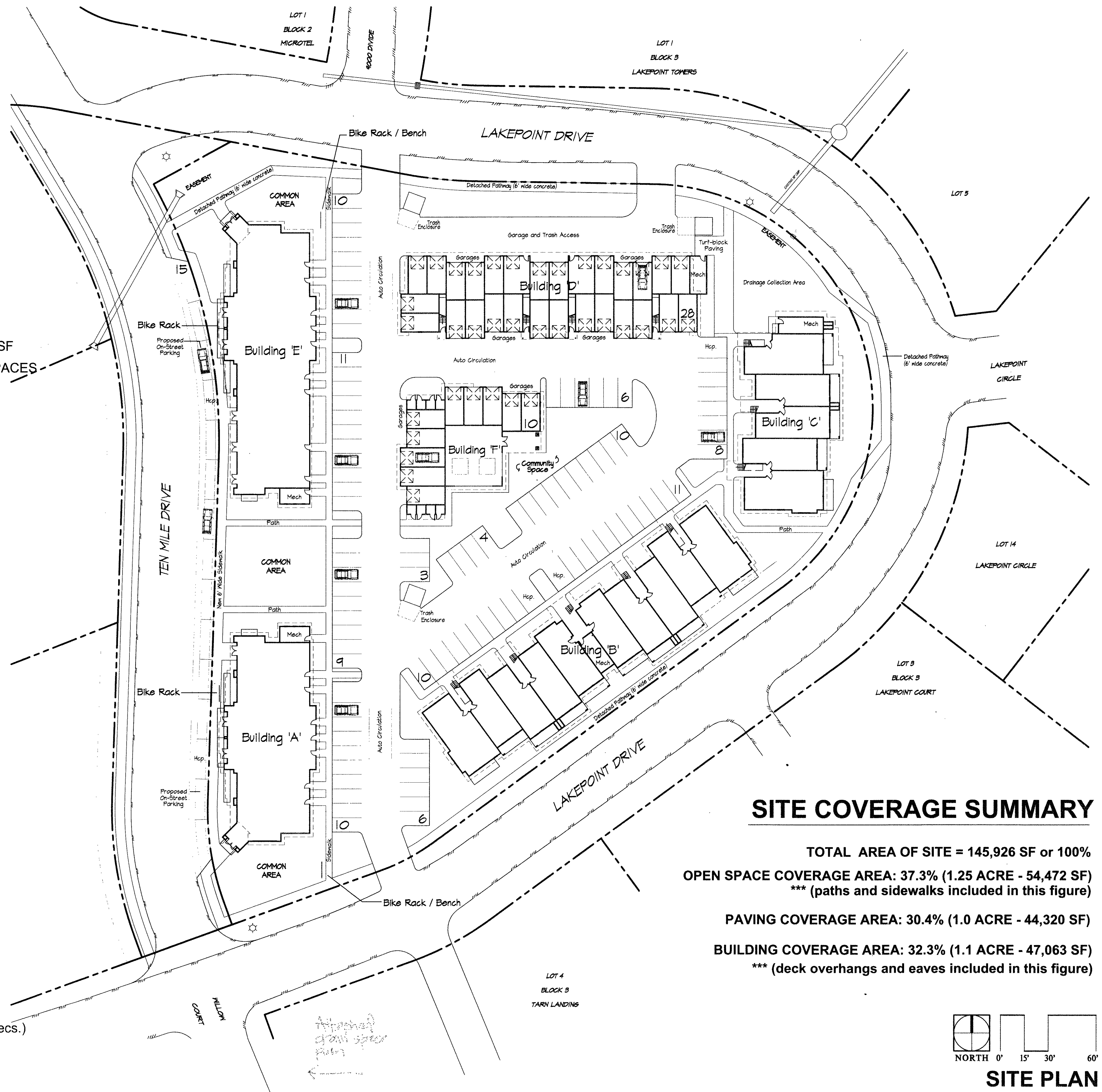
(65) SURFACE PARKING SPACES PROVIDED

\* These calculations assume (15) on-street parking spaces supplement the total parking requirement for the project. Under this scenario, the residential parking requirement is fully met.

BIKE PARKING - (30) bike spaces provided in

(4) bike racks. (2) Combination Bike Rack Benches with (4) spaces each.

(2) Heavy Duty Winder Rack with (11) spaces each (please see pictures / specs.)



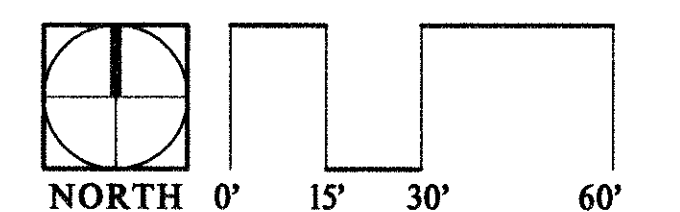
## SITE COVERAGE SUMMARY

TOTAL AREA OF SITE = 145,926 SF or 100%

OPEN SPACE COVERAGE AREA: 37.3% (1.25 ACRE - 54,472 SF)  
 \*\*\* (paths and sidewalks included in this figure)

PAVING COVERAGE AREA: 30.4% (1.0 ACRE - 44,320 SF)

BUILDING COVERAGE AREA: 32.3% (1.1 ACRE - 47,063 SF)  
 \*\*\* (deck overhangs and eaves included in this figure)



**SITE PLAN**

MARKETPLACE ARCHITECTS  
 115 Village Place  
 P.O. Box 6118  
 Dillon, Colorado 80435  
 (970) 468-8583 phone  
 (970) 468-262-0565 fax

DESIGN WORKSHOP  
 Landscape Architecture • Land Planning • Urban Design  
 933 S FRONTAGE RD. SUITE 103 VAIL, COLORADO 81677  
 PHONE: 970-476-8408 FACSIMILE: 970-476-8409

ENGINEERS & SURVEYORS  
 P.O. Box 589  
 Silverthorne, CO 80498  
 (970) 468-6281

**DRAKE LANDING**  
 Lot 4R, Resubdivision of Lot 2, Block 1, Lakepoint at Frisco  
 Town of Frisco, Colorado

Drawn by: PMC / JL  
 Date: 7/5/00  
 SCALE 1" = 30' - 0"

**A - 1**

# DRAKE LANDING

## BUILDING E FRISCO, COLORADO

7/22/02  
02-045

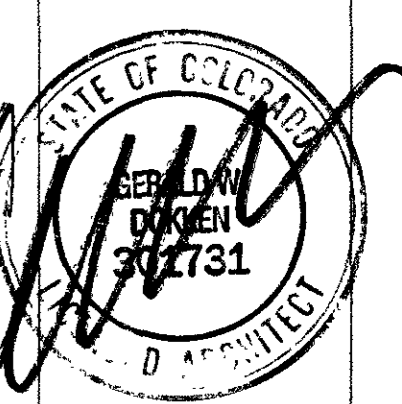


VIEW FROM INTERSECTION OF TEN MILE DRIVE AND LAKEPOINT DRIVE



VIEW FROM TEN MILE DRIVE

MARKETPLACE ARCHITECTS  
207 East Avenue Trail  
PO Box 4318 Denver, CO 80431  
970-468-4187 Fax: 970-212-0555  
www.marketplacearch.com



APPROVED FOR SUBMITTAL  
OF BUILDING PERMIT  
DATE: 7/22/02  
BY: [Signature]

### GENERAL NOTES:

- ALL RIGHTS RESERVED The arrangements, designs, details and concepts depicted herein are the sole property of Marketplace Architects LLC and may not be reproduced in any form without its written consent.
- These construction documents do not purport to show all construction details. If additional guidance is necessary, the Contractor shall immediately notify the Architect. Failure to give notice shall relieve the Architect of responsibility. Do not proceed if the documents are in conflict or questions arise. Consult the Architect.
- These drawings do not include aspects of construction safety. The Contractor shall maintain the site in an orderly and safe condition. All safety and protection for people and properties, shall be in compliance with state and federal safety regulations are the sole responsibility of the General Contractor.
- The General Contractor and Subcontractors are responsible for satisfying all applicable codes and obtaining required permits and approvals. The Contractor shall arrange for all inspections and notify the Owner of their time. This project is governed by the International Building Code, 2000 Edition, including local Amendments. The drawings and specifications shall not permit work that does not conform to these codes. These drawings require the Contractor and each Subcontractor to provide all labor, materials, transportation, supplies, equipment, etc., to complete the work within the industry or trade standards.
- The Contractor shall be familiar and comply with the directives for the subdivision covenants.
- The Contractor shall verify all existing conditions and notify the Architect when there is a conflict between the contract documents and the existing conditions.
- The Contractor shall verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. The Contractor is responsible for notifying utilities for field locates in compliance with Colorado State Senate Bill 172, Paragraph 9-1.5-103.
- By contractual arrangement, upon completion of the excavation the Owner shall retain a soils engineer to inspect the subsurface conditions to determine adequacy of foundation design. The Contractor shall coordinate the soils inspection before footing form work is placed.
- Any errors, omissions, or conflicts found in the various parts of the construction documents shall be brought to the attention of the Architect and the Owner before proceeding with the Work.
- Substitution of "equal" products is acceptable with the Architect's verbal consent, followed by his written consent. Unique specified items are intended as a quality specification and may be substituted with written consent.
- The Contractor shall prepare and submit shop drawings or samples as may be necessary to describe completely the details and construction of the Work.
- All materials and equipment are to be installed per manufactures printed instructions. The Subcontractors shall deliver to the Owner copies of installation and operation instructions of all devices and equipment that arrived packaged with the equipment.
- All materials are to be new and are to be protected on the jobsite before and during installation.
- Verify all Architectural details with the structural, mechanical and electrical drawings before the ordering of, or installation of any item of work.

### STANDARD ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ACOUST	ACOUSTICAL
ADJ	ADJUSTABLE
AGG	AGGREGATE
ALT	ALTERNATE
ALUMA	ALUMINUM
AB	ANCHOR BOLT
APPROX	APPROXIMATE
ARCH	ARCHITECT (URAL)
ASPH	ASPHALT
BM	BEAM
BRG	BEARING
BLK	BLOCK
BLKG	BLOCKING
BD	BOARD
BOT	BOTTOM
BO	BOTTOM OF
BLDG	BUILDING
CANT	CANTILEVER
CAB	CABINET
CPT	CARPET
CLG	CEILING
CT	CERAMIC TILE
CIR	CIRCLE
CLR	CLEAR (ANCE)
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACT
CJ	CONTROL JOINT
DEL	DELETE
DEMO	DEMOLITION
DTL	DETAIL
DIA	DIAMETER
DM	DIMENSION
DPR	DISPENSER
DR	DOOR
DBL	DOUBLE
DF	DOUGLAS FIR
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING
DW	DISHWASHER
EJ	EXPANSION JOINT
EA	EACH
ELEV	ELEVATION
ELECT	ELECTRICAL
ENC	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
EXIST	EXISTING
EXP	EXPANSION
EX	EXPANSION BOLT
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
FD	FLOOR DRAIN
FP	FIREPLACE
FDN	FOUNDATION
FIN	FINISH
FLR	FLOOR
FLUOR	FLUORESCENT
FT	FOOT
FTG	FOOTING
FPHB	FROST PROOF HOSE BIB
FUR	FURRED
GA	GALVANIZED
GEN	GENERAL
GC	GENERAL CONTRACT (OR)
GL	GLASS

### CODE REVIEW

Review Agency	Town of Frisco, Building Department
Building Code	2000 IBC
Type of Construction	V.B. Fully Sprinklered (NFPA Type 13)
Occupancy	B - M / R-2

<b>MAIN FLOOR</b>	
<b>B / M Occupancy</b>	
Basic Allowable	9,000 sf
Frontage	6,750 sf (75% increase)
Sprinklers	18,000 sf (200% increase)
Total Allow per Fir	33,750 sf
Proposed	8,183 sf

<b>R-2 Occupancy</b>	
Basic Allowable	7,000 sf
Frontage	5,250 sf (75% increase)
Sprinklers	14,000 sf (200% increase)
Total Allow per Fir	26,750 sf
Proposed	287 sf

8,183/33,750 + 287/26,750 = 0.25 < 1.00

**Total Proposed Main** 8,470 sf

<b>UPPER FLOOR</b>	
<b>B / M Occupancy</b>	
Basic Allowable	9,000 sf
Frontage	6,750 sf (75% increase)
Sprinklers	18,000 sf (200% increase)
Total Allow per Fir	33,750 sf
Proposed	1,011 sf

<b>R-2 Occupancy</b>	
Basic Allowable	7,000 sf
Frontage	5,250 sf (75% increase)
Sprinklers	14,000 sf (200% increase)
Total Allow per Fir	26,750 sf
Proposed	6,758 sf

953/33,750 + 6,758/26,750 = 0.28 < 1.00

**Total Proposed Upper** 7,769 sf

<b>LOFT FLOOR</b>	
<b>R-2 Occupancy</b>	
Basic Allowable	7,000 sf
Frontage	5,250 sf (75% increase)
Sprinklers	14,000 sf (200% increase)
Total Allow per Fir	26,750 sf
Proposed	3,448 sf

3,448 < 26,750

**Total Proposed Loft** 3,448 sf

<b>BUILDING SUMMARY</b>	
<b>Area Totals</b>	
B / M Occupancy	9,194 sf
R-2 Occupancy	10,493 sf
Total Proposed	19,687 sf

<b>Building Heights</b>	
B / M Occupancy	2 Story
R-2 Occupancy	3 Story

### PROGRAM INFORMATION

Project Title	Drake Landing Building A
Building Area	19,687 sf
Building Use	Mixed-use: Retail, Office, Residential
Building Height	3 stories (35' max)
Site Area	3.35 Ac
Zoning	Summit Blvd Architectural Overlay Zone

### LEGAL DESCRIPTION

Lot 4R, a resubdivision of Lot 2, Block 1, Lakepoint at Frisco, Town of Frisco Colorado.

### BUILDING DESCRIPTION

Mixed-use residential and commercial 3-story wood and steel framed structure. One of six proposed buildings in the Drake Landing development project.

- EXTERIOR FINISHES**
- Cultured stone veneer
  - Wood siding
  - Wood trim
  - Timber framed accents
  - Vinyl windows
  - Composition shingle roofing

### FIRE-RESISTANCE NOTES

- 1 hour fire-rated occupancy separation (fire barrier and horz. assembly) is required between B and M, R-2 and B, and R-2 and M occupancies.
- Vertical Exit Enclosures and Occupancy Separations shall comply with requirements for *Fire Barriers* (IBC sec 706) and *Horizontal Assemblies* (IBC sec 710). Separation walls shall run full height from the floor to the underside of the roof deck or the fire-resistance rated floor/ceiling assembly above.
- Dwelling Unit Separation Walls shall comply with requirements for *Fire Partitions* (IBC sec 708). Separation walls shall run full height from the floor to the underside of the roof deck or the fire-resistance rated floor/ceiling assembly above.
- Supporting construction of FR assemblies shall have the same rating as the assembly:  
fire barrier walls 1 hour FR (IBC 706.4)  
dwelling unit sep. walls 30 min FR (IBC 708.1)  
horizontal assemblies 1 hour FR (IBC 710.4)
- Automatic sprinkler system installation allows the following:  
Reduction in occupancy sep. and supporting construction from 2 hr to 1 hr FR (IBC 502.3.3 Exception 1)  
Increase in allowable height for M occ from 1 story to 2 story (IBC 504.2)  
Increase in allowable height for R-2 occ from 2 story to 3 story (IBC 504.2)
- Fire resistive exterior walls need to be rated for exposure to fire from the inside only (IBC 704.5)

### DRAWING INDEX

Note: A.C. & L. sheets are part of the Master Set for Drake Landing

#### General Information

- A-1 Site Plan
- Civil
- C-1 Existing Conditions
- C-2 Grading and Drainage
- C-3 Water Supply and Sewage Collection

#### Landscape

- L-1 Landscape Plan
- L-2 Traffic Circulation Plan
- L-3 Snow Storage Plan
- L-4 Lighting and Signage Plan
- L-5 Construction Staging Plan

#### Architectural

- A2.1 Main Floor Plan (north)
- A2.2 Main Floor Plan (south)
- A2.3 Upper Floor Plan (north)
- A2.4 Upper Floor Plan (south)
- A2.5 Loft Floor Plan (north)
- A2.6 Loft Floor Plan (south)
- A2.7 Roof Plan (north)
- A2.8 Roof Plan (south)
- A3.1 Building Elevations
- A3.2 Building Elevations
- A3.3 Building Elevations
- A4.1 Building Sections & Schedules
- A4.2 Building Sections & Schedules
- A4.3 Building Sections & Schedules

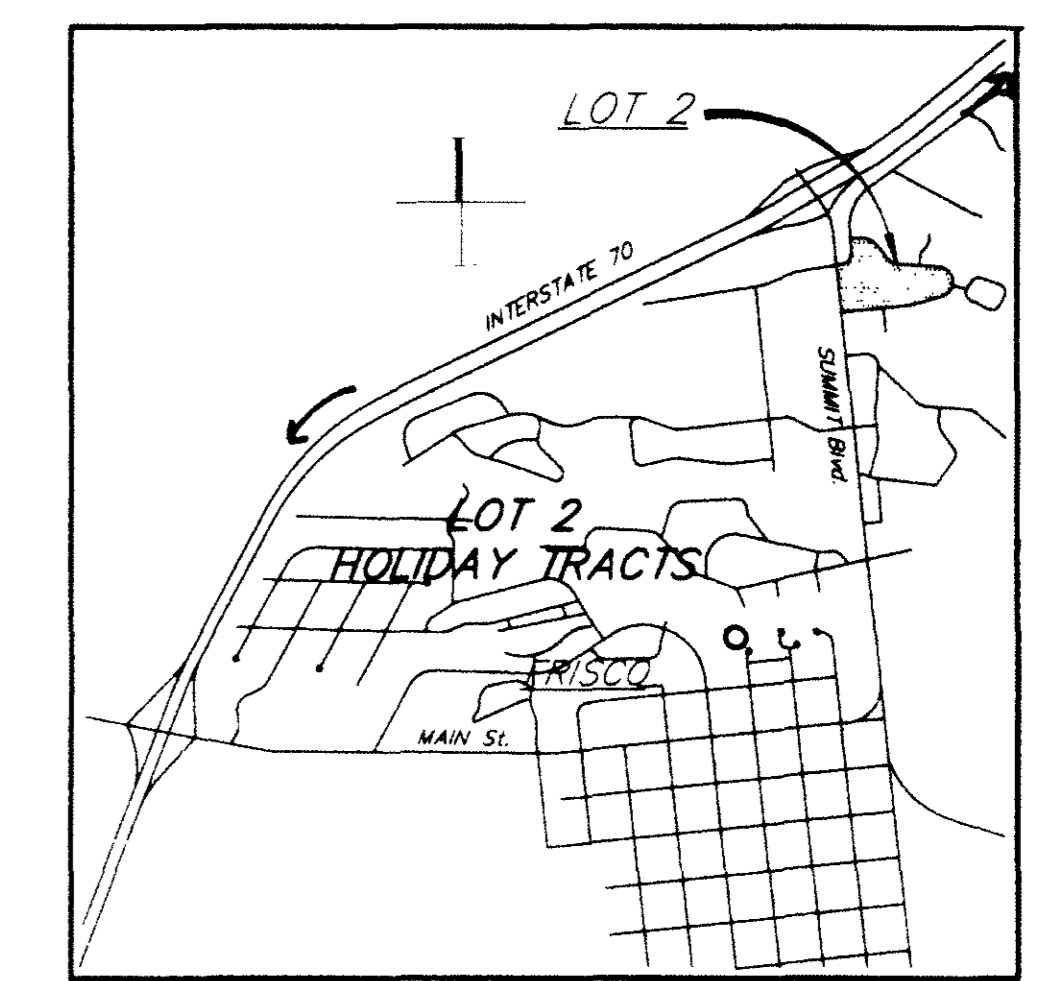
#### Structural

- S1 Foundation Plan
- S2 Foundation Plan
- S3 Upper Floor Framing Plan
- S4 Upper Floor Framing Plan
- S5 Loft Level Framing Plan
- S6 Loft Level Framing Plan
- S7 Roof Framing Plan
- S8 Roof Framing Plan
- S9 Structural Details

### SERVICES

Gas	Public Service
Electric	Public Service
Sewer	Town of Frisco
Water	Town of Frisco
Security	Waste Management
Refuse	AT&T
TV Cable	

### VICINITY MAP



### PROJECT INDEX

Owner / Developer	Slengo Development Mike Cuthbertson 970-668-4770
Architect	Marketplace Architects
Structural Engineer	Jerry Dokken / Michael Shuit 970-468-6583
Mech. Engineer	Boyle Engineering Inc. Tim Boyle 970-476-2170
Electrical Engineer	Design / Build
Civil Engineer / Survey	Range West Development 970-668-3716
Landscape Architecture	Design Workshop Inc. Pedro Campos 970-476-8408
Geotechnical	HP Geotech

**BLDG DEPT. SET**

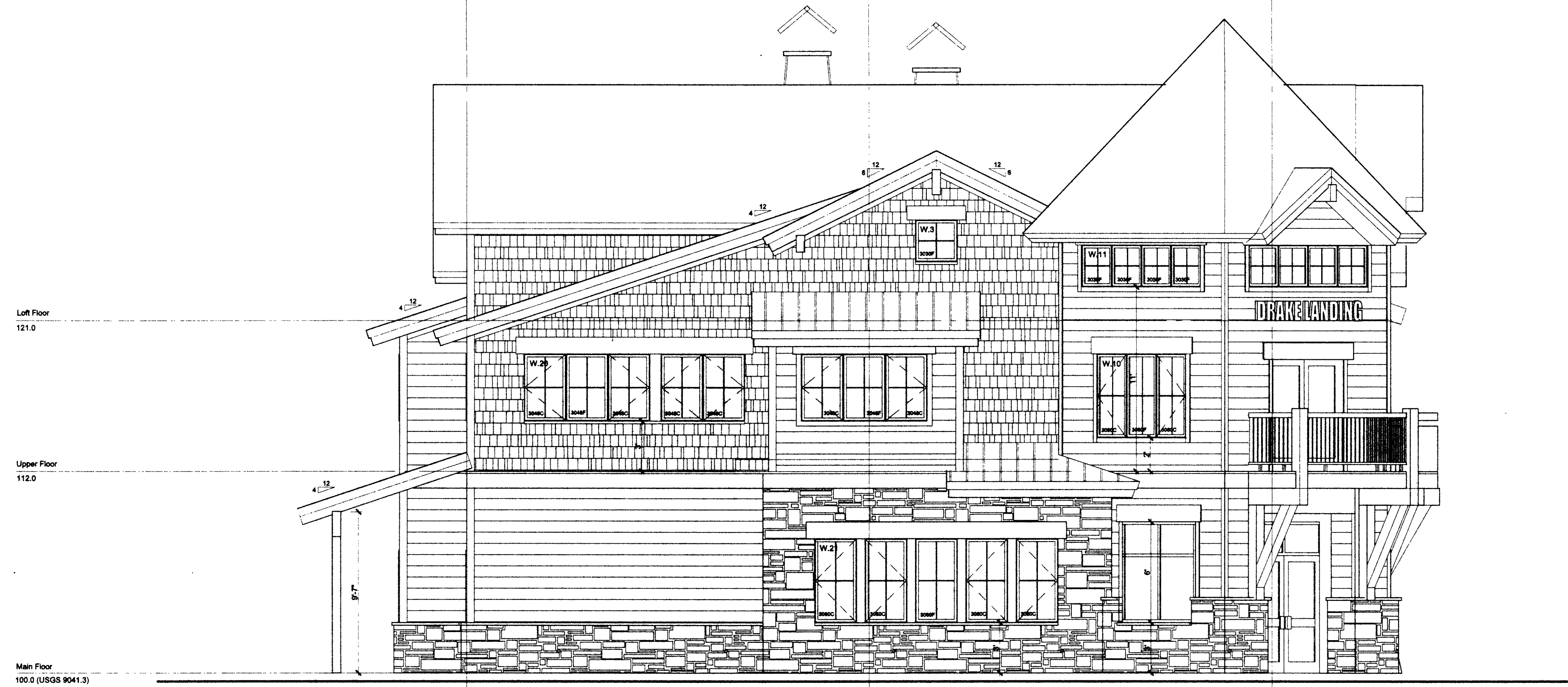
DRAKE LANDING BUILDING E Frisco, Colorado

DATE: 03-19-01  
SCALE:  
DRAWN BY: MS  
REVISION:  
SHEET:

T.E



**TOWER ELEVATION**  
SCALE: 1/4" = 1'-0"



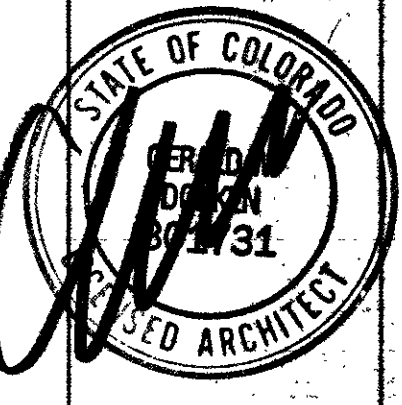
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISION  
05-28-02

**MARKETPLACE ARCHITECTS**  
117 East Fremont Trail  
PO Box 6318 Dillon, CO 80438  
970-462-3188 Fax 970-282-9993  
info@marketplace.com

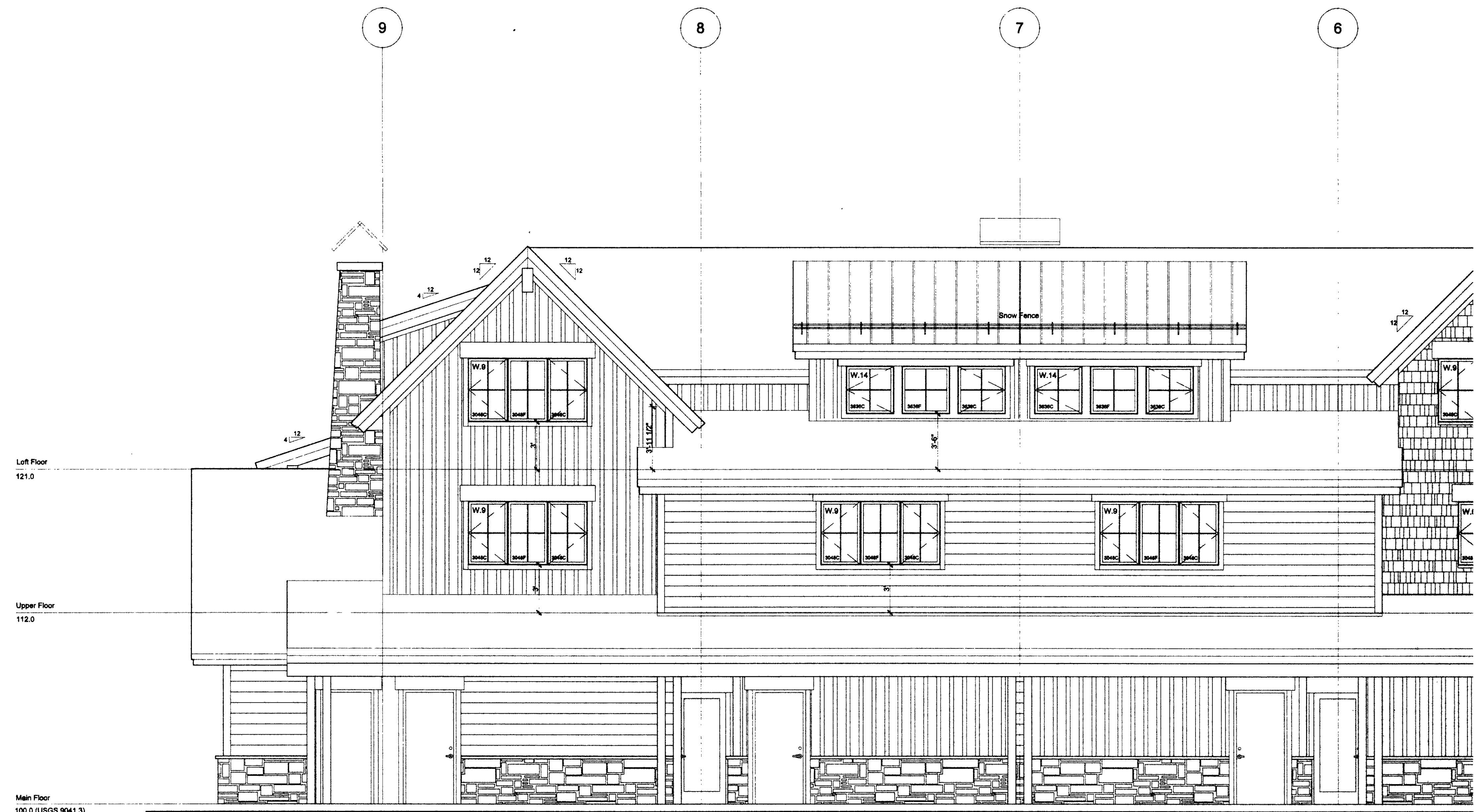


02-045

**DRAKE LANDING BUILDING E**  
Frisco, Colorado

DATE: 02-19-01  
SCALE:  
DRAWN BY: MS  
JOB NO.  
SHEET

**A3.2 E**



EAST ELEVATION (south)  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION (north)  
SCALE: 1/4" = 1'-0"

02-045

MARKETPLACE ARCHITECTS  
 707 East Hamilton Trail  
 Fort Collins, CO 80526  
 970.482.2010 Fax 970.482.2017  
 www.marketplacearchitects.com

STATE OF COLORADO  
 LICENSED ARCHITECT  
 1731

DRAKE LANDING  
 BUILDING E  
 Fort Collins, Colorado

02-18-01  
 1/4  
 100.0  
 A3.3

# DOOR SCHEDULE

Mark	Head	Type	W	H	Frame	How	Comments
0001	RH	A	3-0	7-0	A	1	
0006	RH	B	3-0	7-0	A	1	
0009	LH	B	3-0	7-0	A	1	
0004	RH	B	3-0	7-0	A	1	
0005	RH	B	3-0	7-0	A	1	
0101	C	PR-3-0	7-0	C	2		
0102	LH	A	3-0	7-0	A	1	
0201	RH	A	3-0	6-8	D	8	1 HR FR
0206	RHR	E	3-0	6-8	B	5	
0203	RHR	E	3-0	6-8	B	5	
0204	RHR	E	3-0	6-8	B	5	
0205	RHR	E	3-0	6-8	B	5	
0208	LH	E	3-0	6-8	B	4	
0207	RH	E	3-0	6-8	B	4	
0208	LH	E	3-0	6-8	B	4	
0209	RH	E	3-0	6-8	B	4	
0210	LH	E	3-0	6-8	B	4	
0211	BP	F	5-0	6-8	B	6	
0212	BP	F	5-0	6-8	B	6	
0301	C	PR-3-0	7-0	C	2		
0302	LH	A	3-0	7-0	A	1	
0401	LH	A	3-0	6-8	D	8	1 HR FR
0403	LHR	E	3-0	6-8	B	5	
0402	LHR	E	3-0	6-8	B	5	
0404	LHR	E	3-0	6-8	B	5	
0405	LHR	E	3-0	6-8	B	5	
0406	RH	E	3-0	6-8	B	4	
0407	LH	E	3-0	6-8	B	4	
0408	RH	E	3-0	6-8	B	4	
0409	RH	E	3-0	6-8	B	4	
0410	RH	E	3-0	6-8	B	4	
0411	BP	F	5-0	6-8	B	6	
0412	RH	E	3-0	6-8	B	5	
0501	C	PR-3-0	7-0	C	2		
0502	RH	A	3-0	7-0	A	1	
0601	RH	A	3-0	6-8	D	8	1 HR FR
0602	RHR	E	3-0	6-8	B	5	
0603	RHR	E	3-0	6-8	B	5	
0604	RHR	E	3-0	6-8	B	5	
0605	RHR	E	3-0	6-8	B	5	
0606	RHR	E	3-0	6-8	B	5	
0607	RH	E	3-0	6-8	B	4	
0608	LH	E	3-0	6-8	B	4	
0609	RH	E	3-0	6-8	B	4	
0610	LH	E	3-0	6-8	B	4	
0611	BP	F	5-0	6-8	B	6	
0612	LH	E	3-0	6-8	B	5	
0701	C	PR-3-0	7-0	C	2		
0702	RH	A	3-0	7-0	A	1	
0801	LH	A	3-0	6-8	D	8	1 HR FR
0802	LHR	E	3-0	6-8	B	5	
0803	LHR	E	3-0	6-8	B	5	
0804	LHR	E	3-0	6-8	B	5	
0805	LHR	E	3-0	6-8	B	5	
0806	RH	E	3-0	6-8	B	4	
0807	RH	E	3-0	6-8	B	4	
0808	LH	E	3-0	6-8	B	4	
0809	RH	E	3-0	6-8	B	4	
0810	BP	F	5-0	6-8	B	6	
0811	LH	E	3-0	6-8	B	4	
0812	BP	F	5-0	6-8	B	6	
0901	C	PR-3-0	7-0	C	2		
0902	LH	A	3-0	7-0	A	1	
1001	RH	A	3-0	6-8	D	8	1 HR FR
1002	RHR	E	3-0	6-8	B	5	
1003	RHR	E	3-0	6-8	B	5	
1004	RHR	E	3-0	6-8	B	5	
1005	RHR	E	3-0	6-8	B	5	
1006	RHR	E	3-0	6-8	B	5	
1007	RH	E	3-0	6-8	B	4	
1008	LH	E	3-0	6-8	B	4	
1009	RH	E	3-0	6-8	B	4	
1010	RH	E	3-0	6-8	B	4	
1011	LH	E	3-0	6-8	B	4	
1012	BP	F	5-0	6-8	B	6	
1101	C	PR-3-0	7-0	C	2		
1102	LH	A	3-0	7-0	A	1	
1201	LH	A	3-0	6-8	D	8	1 HR FR
1202	LHR	E	3-0	6-8	B	5	
1203	LHR	E	3-0	6-8	B	5	
1204	LHR	E	3-0	6-8	B	5	
1205	LHR	E	3-0	6-8	B	5	
1206	RH	E	3-0	6-8	B	4	
1207	LH	E	3-0	6-8	B	4	
1208	RH	E	3-0	6-8	B	4	
1209	RH	E	3-0	6-8	B	4	
1210	LH	E	3-0	6-8	B	4	
1211	RH	E	3-0	6-8	B	4	
1212	BP	F	5-0	6-8	B	6	
1301	C	PR-3-0	7-0	C	2		
1302	LH	A	3-0	7-0	A	1	
1401	RH	A	3-0	6-8	D	8	
1402	RHR	E	3-0	6-8	B	5	
1403	RHR	E	3-0	6-8	B	5	
1404	RHR	E	3-0	6-8	B	5	
1405	RHR	E	3-0	6-8	B	5	
1406	RH	E	3-0	6-8	B	4	
1407	RH	E	3-0	6-8	B	4	
1408	LH	E	3-0	6-8	B	4	
1409	LH	E	3-0	6-8	B	4	
1410	BP	F	5-0	6-8	B	6	
1411	LH	E	3-0	6-8	B	4	
1412	BP	F	5-0	6-8	B	6	
1501	C	PR-3-0	7-0	C	2		
1502	RH	A	3-0	7-0	A	1	

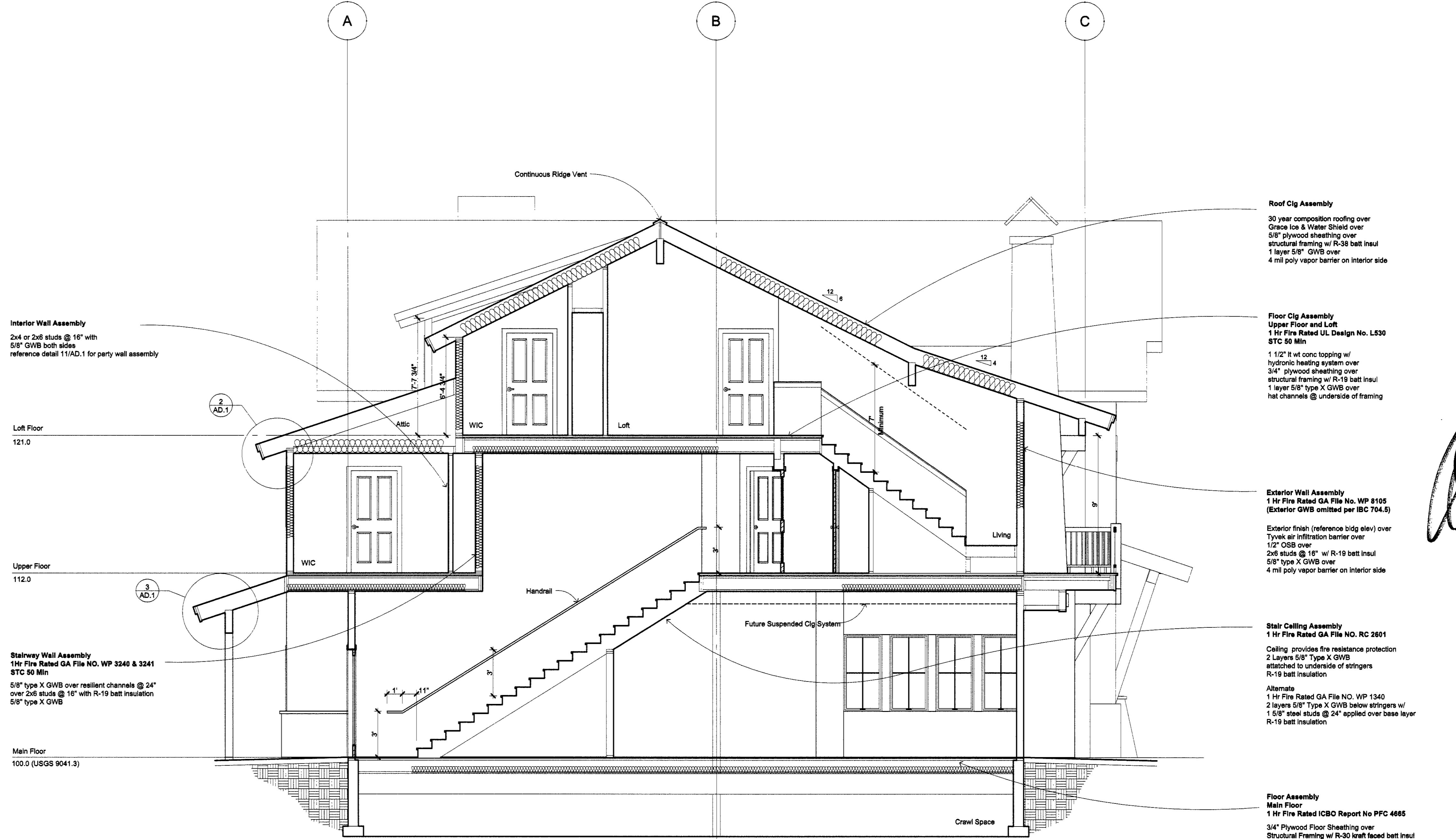
Door Types	Comments
A	Insulated Metal & Panel Exterior Door (Min R-7.0)
B	Full Insulated Glazing Exterior Door
C	Sliding Door
D	Thermally Broken Fiberglass & Poly Vinyl Grain
E	Insulated Fiberglass
F	Interior & Panel Fiberglass
G	Vertical Lift Sectional Garage Door w/ Opener, Spring, NA
H	Insulated Metal Glazing Exterior Door, NA

Frame Types	Comments
A	Exterior wood frame with seals, threshold and sweep
B	Interior Clear Fiberglass
C	Sliding
D	Exterior metal frame with seals, threshold and sweep, NA

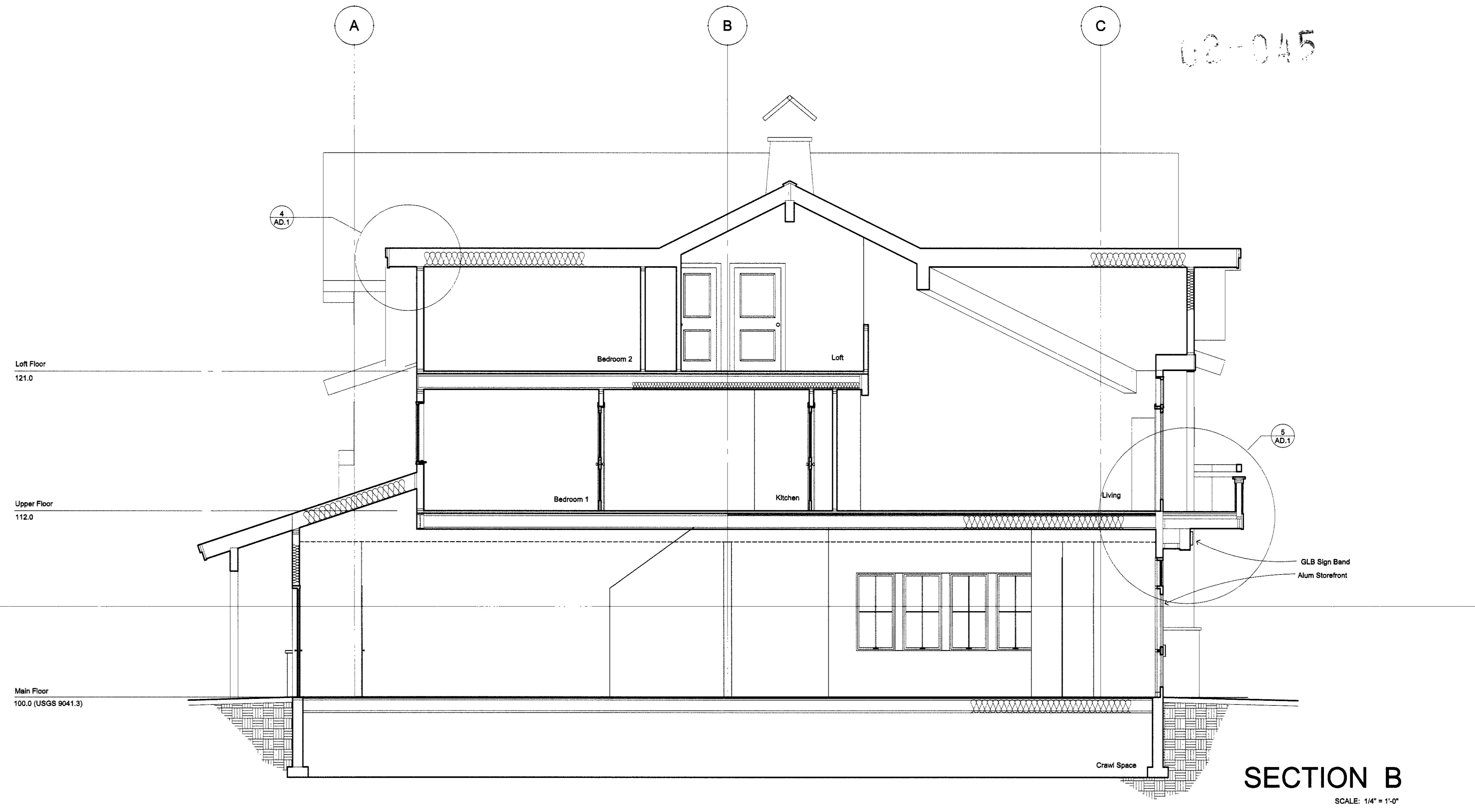
Hardware Group	Comments
1	3 Hinges, Deadbolt, Lockset, Spring Stop
2	3 Hinges, Privacy Device, Round Lockset & Crossbar, Cylinder Deadlock To Master System
3	3 Hinges, Deadbolt, Latchset, Spring Stop
4	3 Hinges, Privacy Latchset, Spring Stop
5	3 Hinges, Latchset, Spring Stop
6	3 Hinges, Track & Floor Pull
7	Hardware by Door Supplier
8	3 Hinges and Crossbar, Deadbolt, Lockset, and Stop

Keying	Comments
1	All locking doors to be keyed with construction masters and building master with individual unit keying.
2	Provide 2 keys for each unit.
3	Provide 2 keys of construction master key.
4	Provide 2 keys of building master key.

Door Notes	Comments
1	Door types D to have a necessary limited STC rating of not less than 24.
2	All doors, frames and hardware to be provided for hardware.
3	All doors to be attached.



**SECTION A**  
SCALE: 1/4" = 1'-0"



**SECTION B**  
SCALE: 1/4" = 1'-0"

REVISIONS  
IBC Revisions  
05-29-02  
IECC Notes  
07-19-02

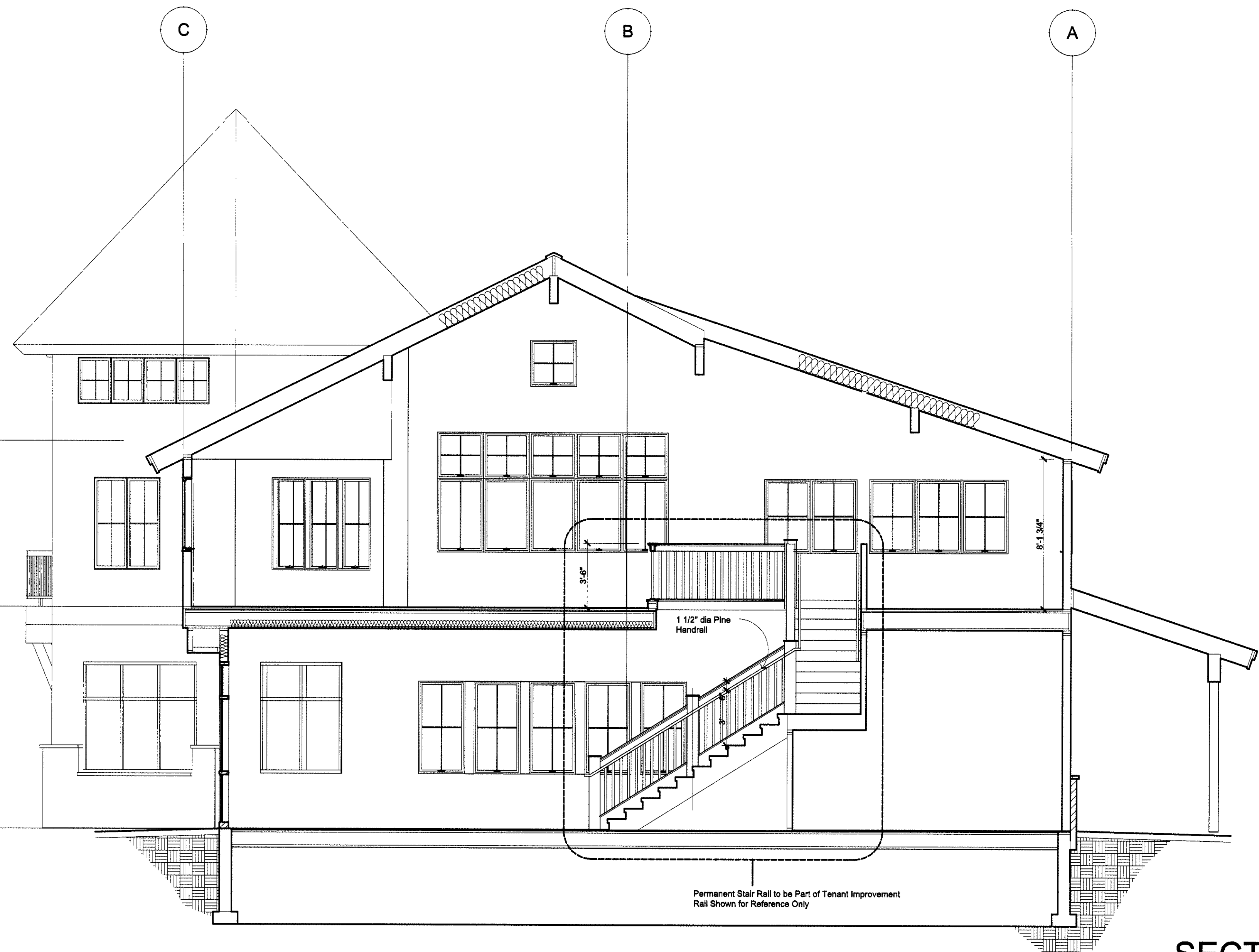
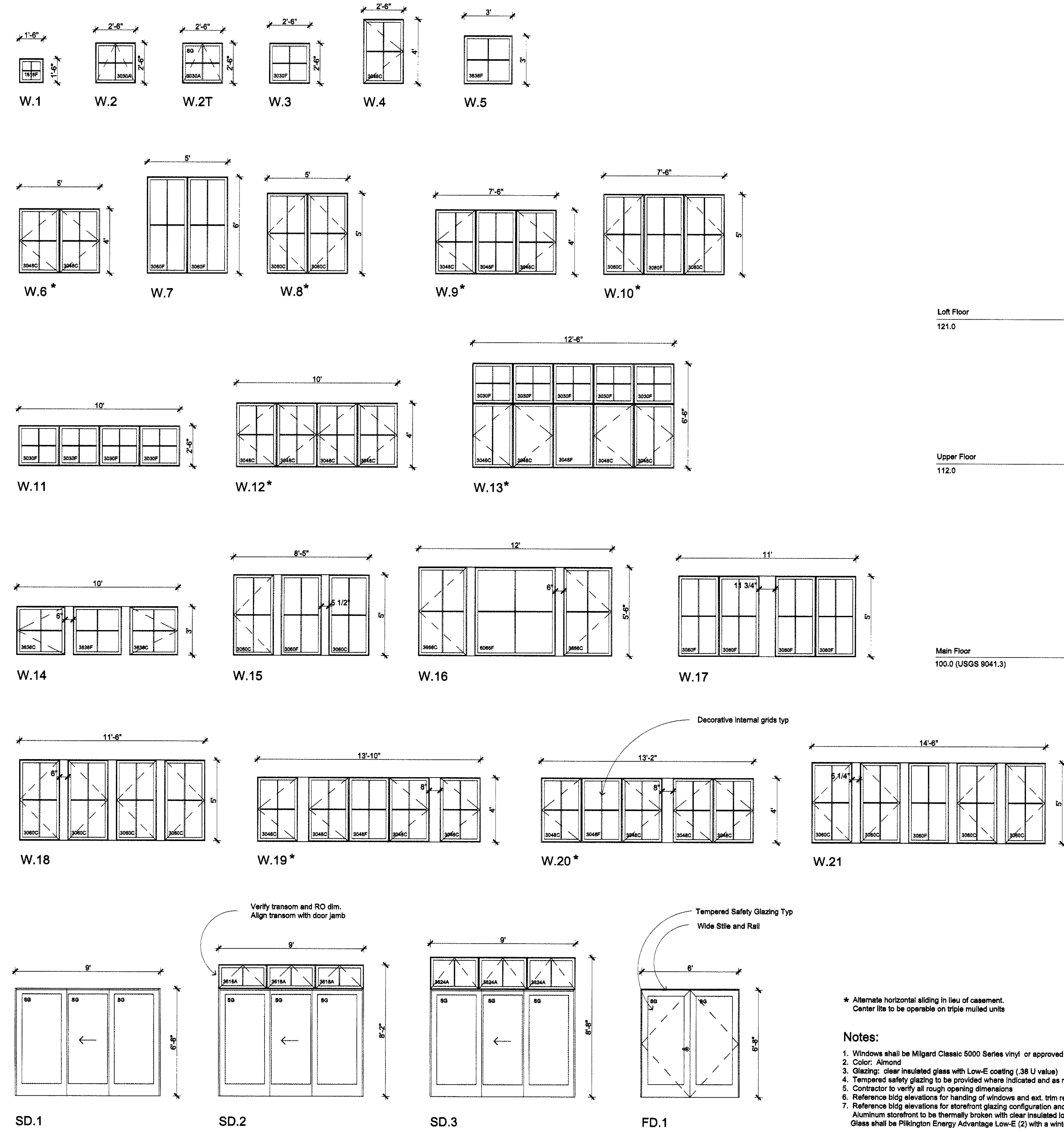


7-11-02 (1)  
02045

**DRAKE LANDING**  
BUILDING E  
Frisco, Colorado

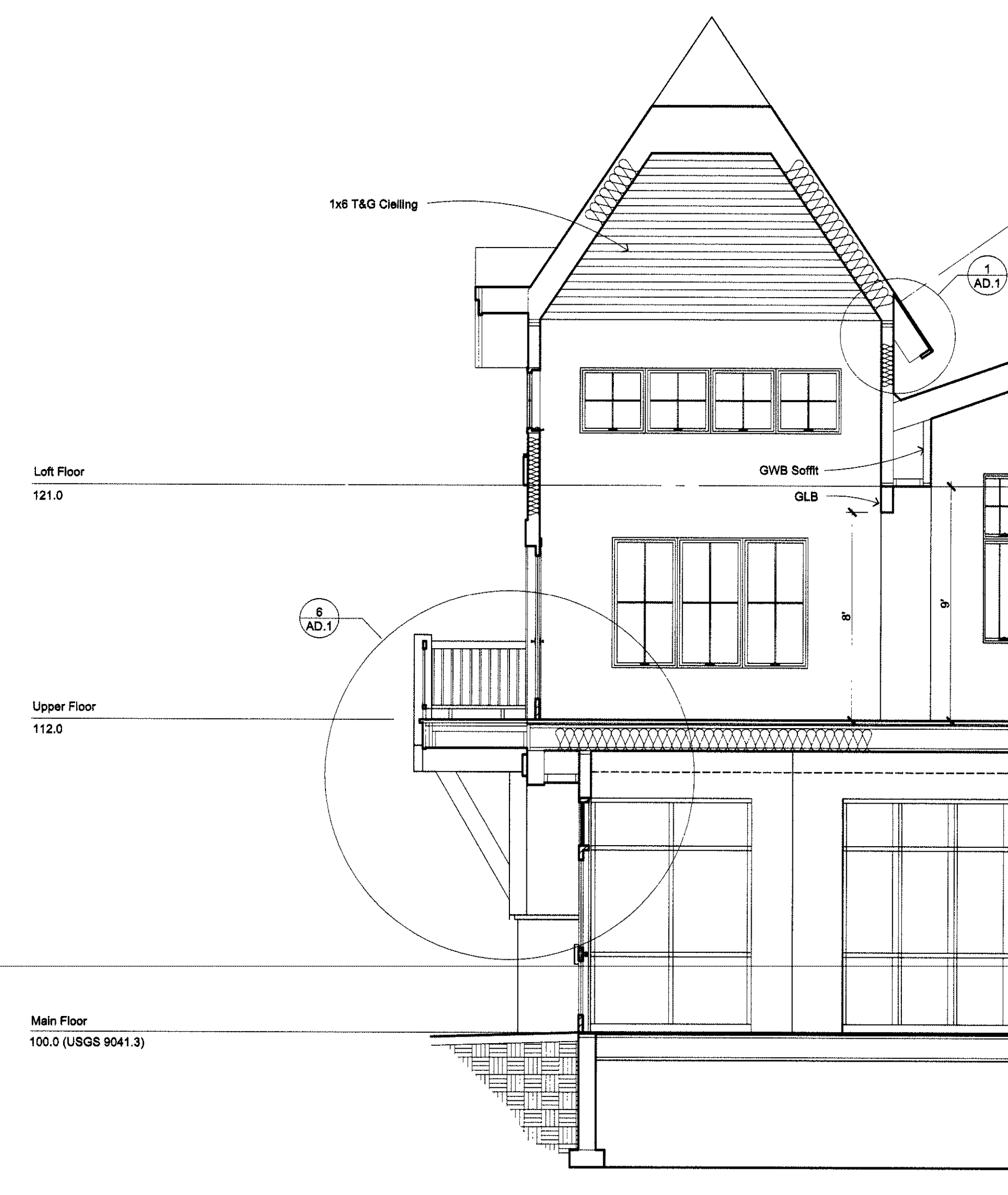
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DRAWN BY: MS  
JOB NO:  
SHEET:  
**A4.1 E**

WINDOW SCHEDULE



SECTION C  
SCALE: 1/4" = 1'-0"

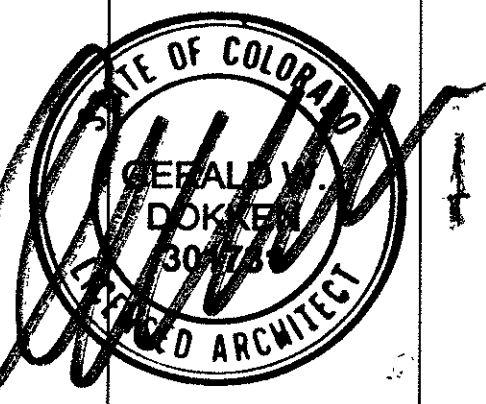
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SECTION D  
SCALE: 1/4" = 1'-0"

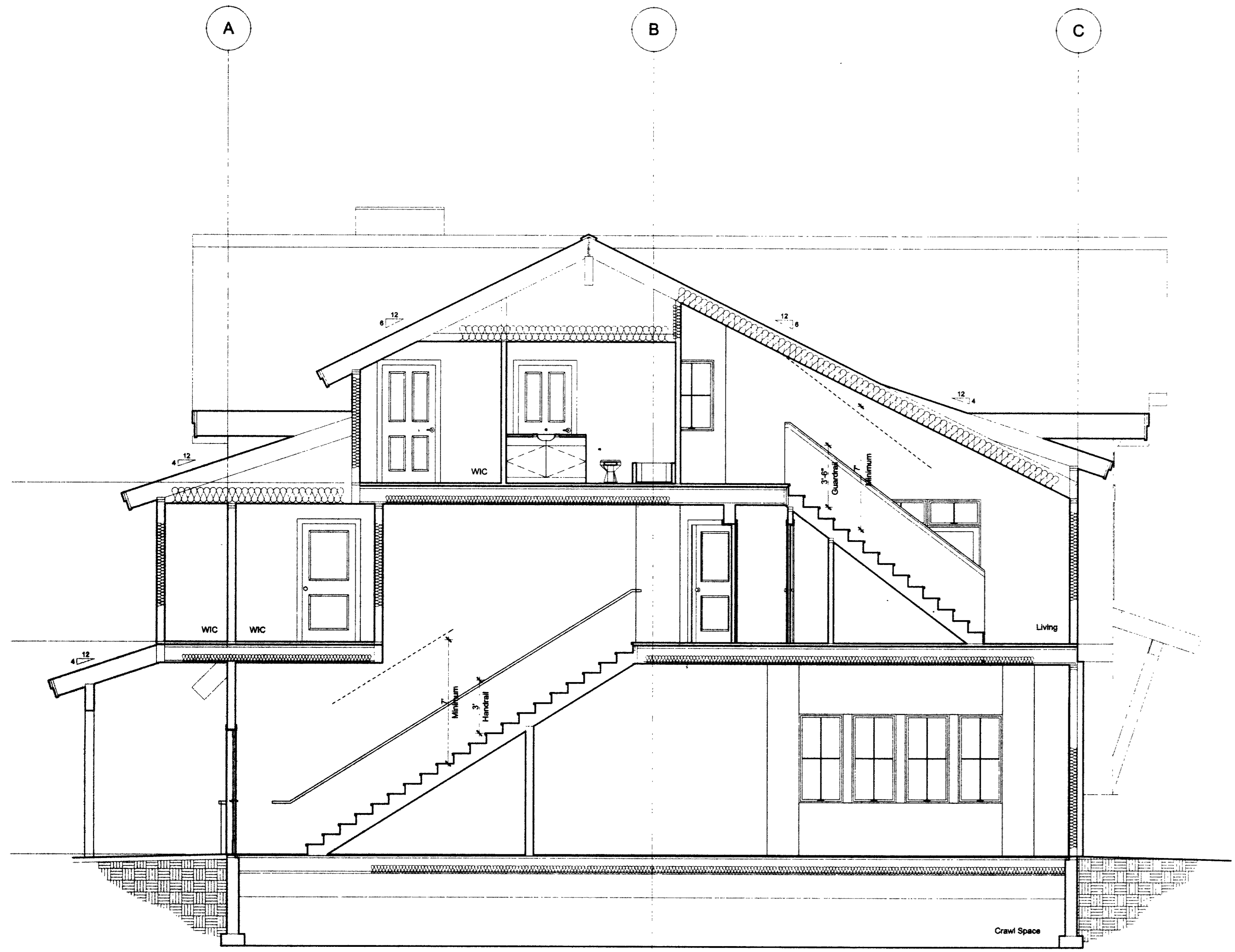
REVISIONS  
05-29-02  
IECC Notes  
07-10-02

**MARKETPLACE ARCHITECTS**  
L.P.C.  
707 East Arapahoe Trail  
PO Box 8118 Dillon, CO 80431  
970-468-8589 Fax 970-325-0565  
marchitects@colorado.net

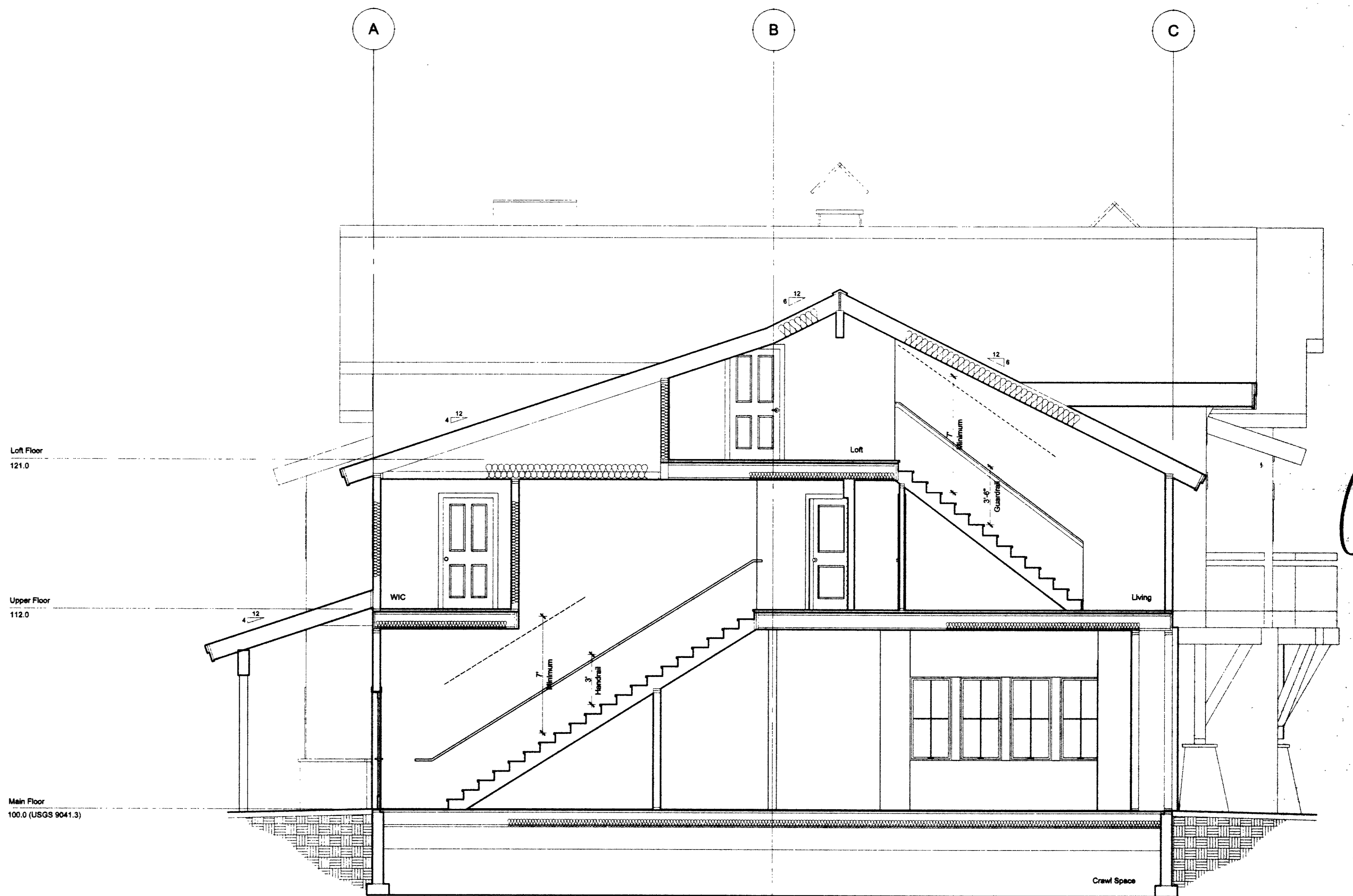


**DRAKE LANDING**  
BUILDING E  
Frisco, Colorado

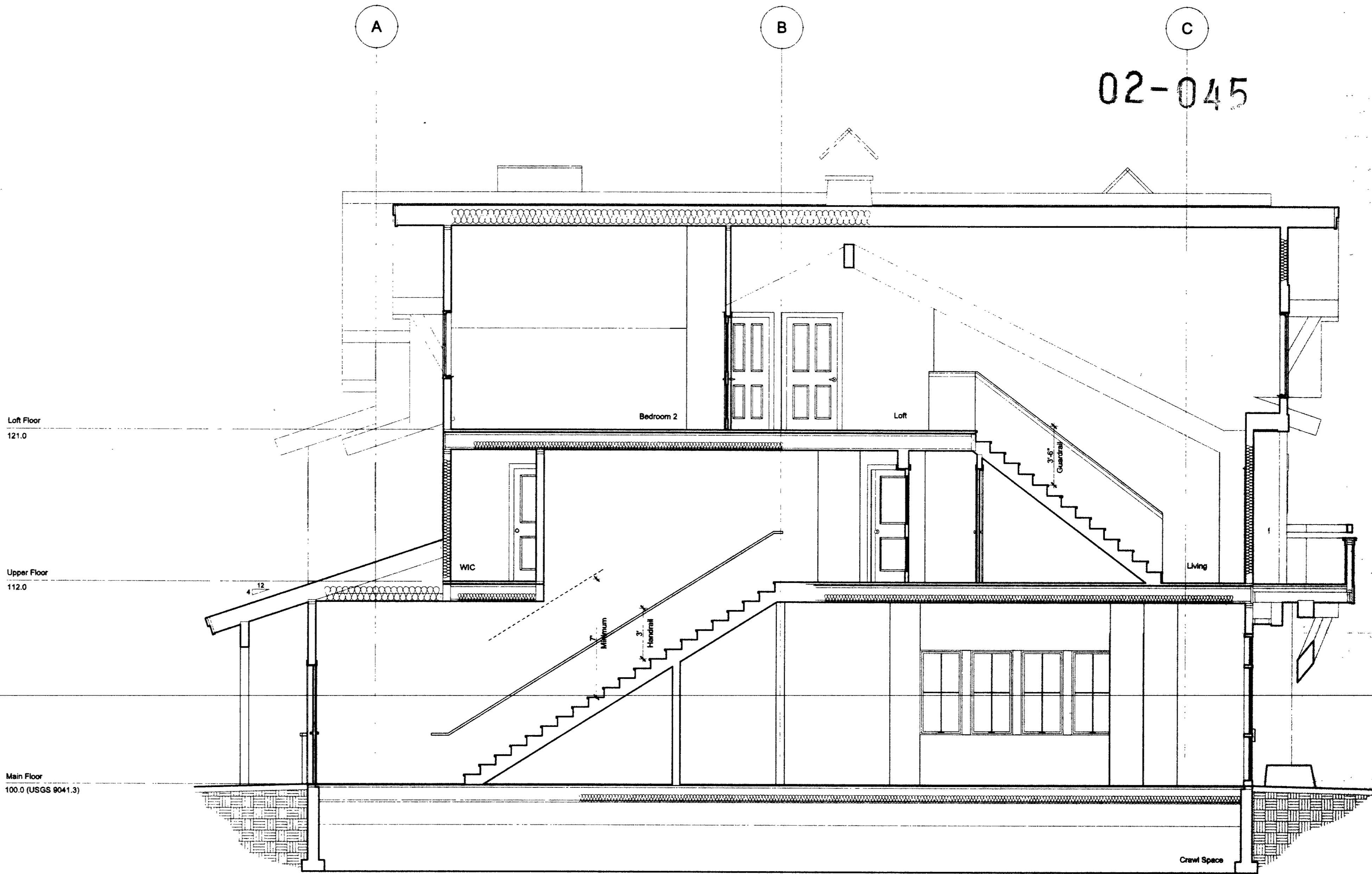
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DRAWN BY: MS  
JOB NO:  
SHEET: **A4.2E**



SECTION G  
SCALE: 1/4" = 1'-0"



SECTION E  
SCALE: 1/4" = 1'-0"



SECTION F  
SCALE: 1/4" = 1'-0"


**MARKETPLACE ARCHITECTS**  
 207 West Arapaho Trail  
 PO Box 6213 Denver, CO 80448  
 1776-4645 / Fax 1776-366-6966  
 marketplace.com



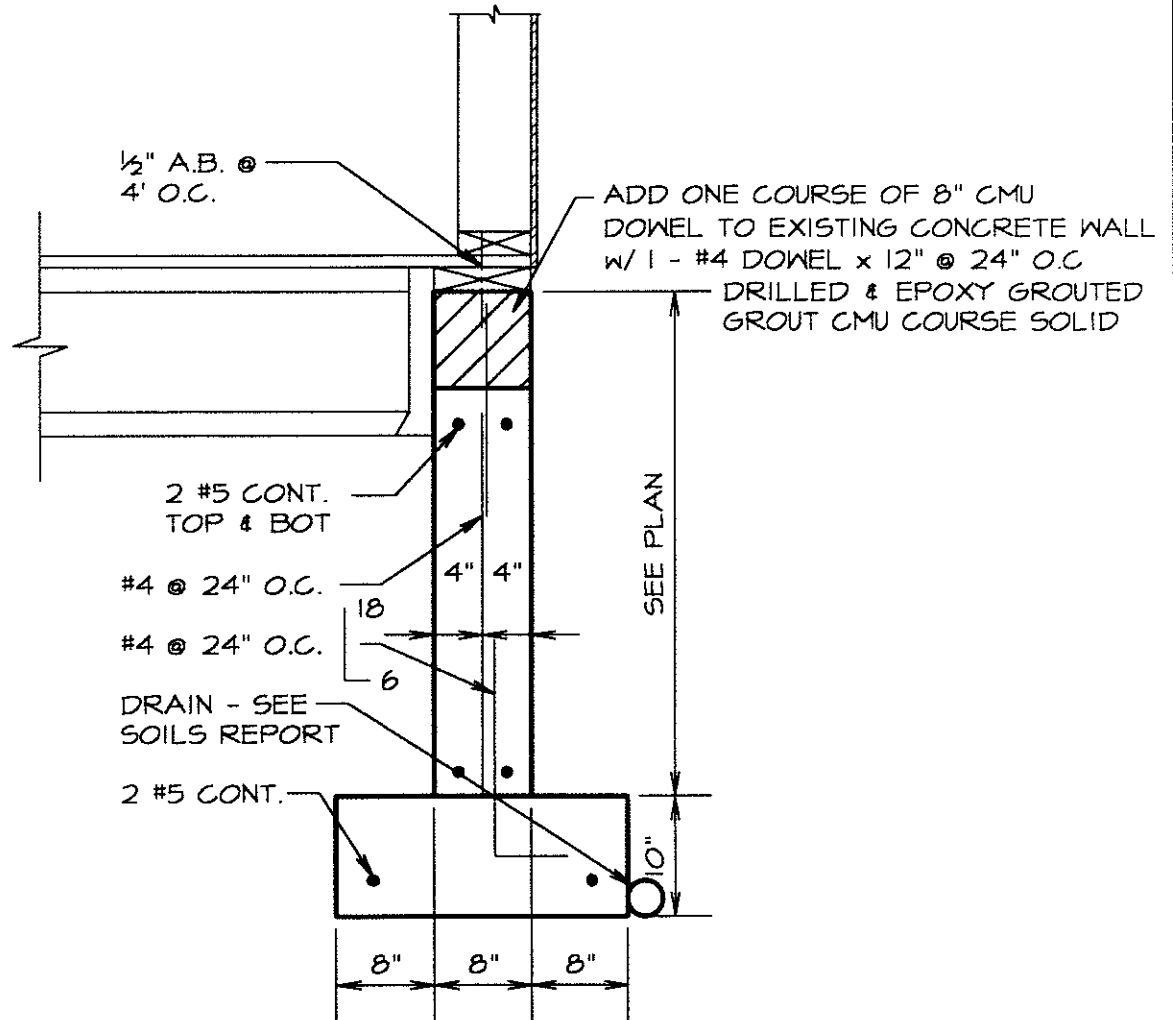
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**BUILDING E**  
 Frisco, Colorado

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CHECKED BY	MS
DATE	03-18-01
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CHECKED BY	MS
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CHECKED BY	MS
DATE	03-18-01
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CHECKED BY	MS

A4.3E







# SECTION A


SCALE: 3/4" = 1'-0"

02-005



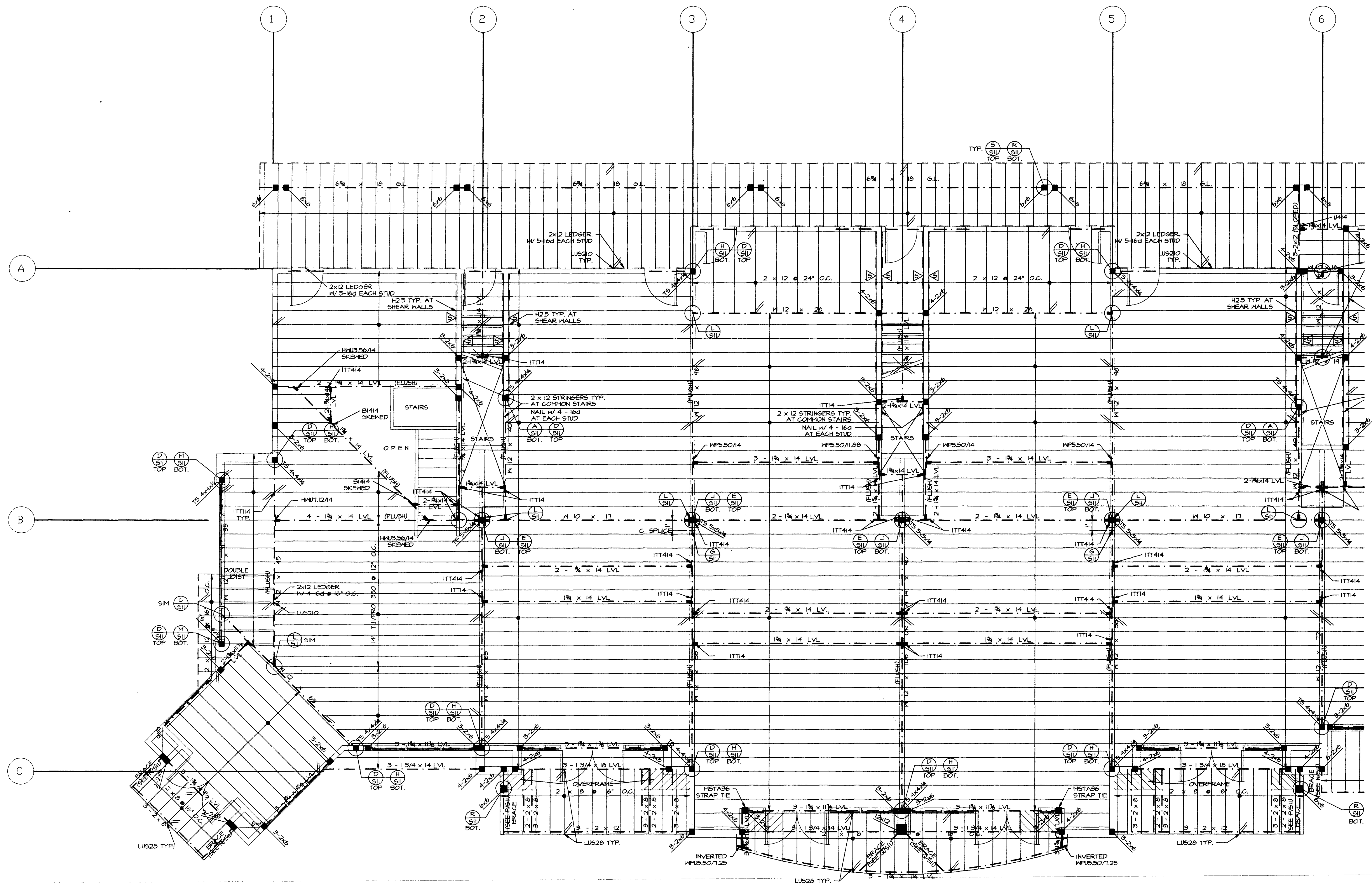
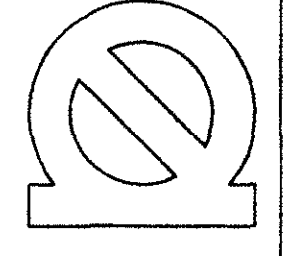
REMEDIAL FOUNDATION WALL SECTION  
 DRAKE LANDING BUILDING E  
 FRISCO, COLORADO

DATE:  
 6-20-01  
 SHEET 3x-1  
 SCALE:


 boyle engineering, inc.  
 143 e. meadow dr.  
 crossroads shopping center  
 vail, colorado 81657  
 970/476-2170 476-4383 fax



Boyle Engineering, Inc.  
 143 E. Meadow Cr.  
 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970/476-2110



02-025

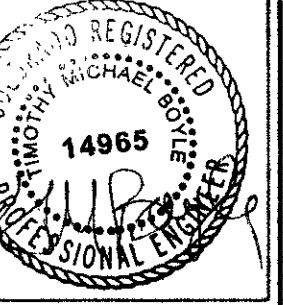
**UPPER LEVEL FRAMING PLAN**

1/4" = 1'-0"

NOTE:

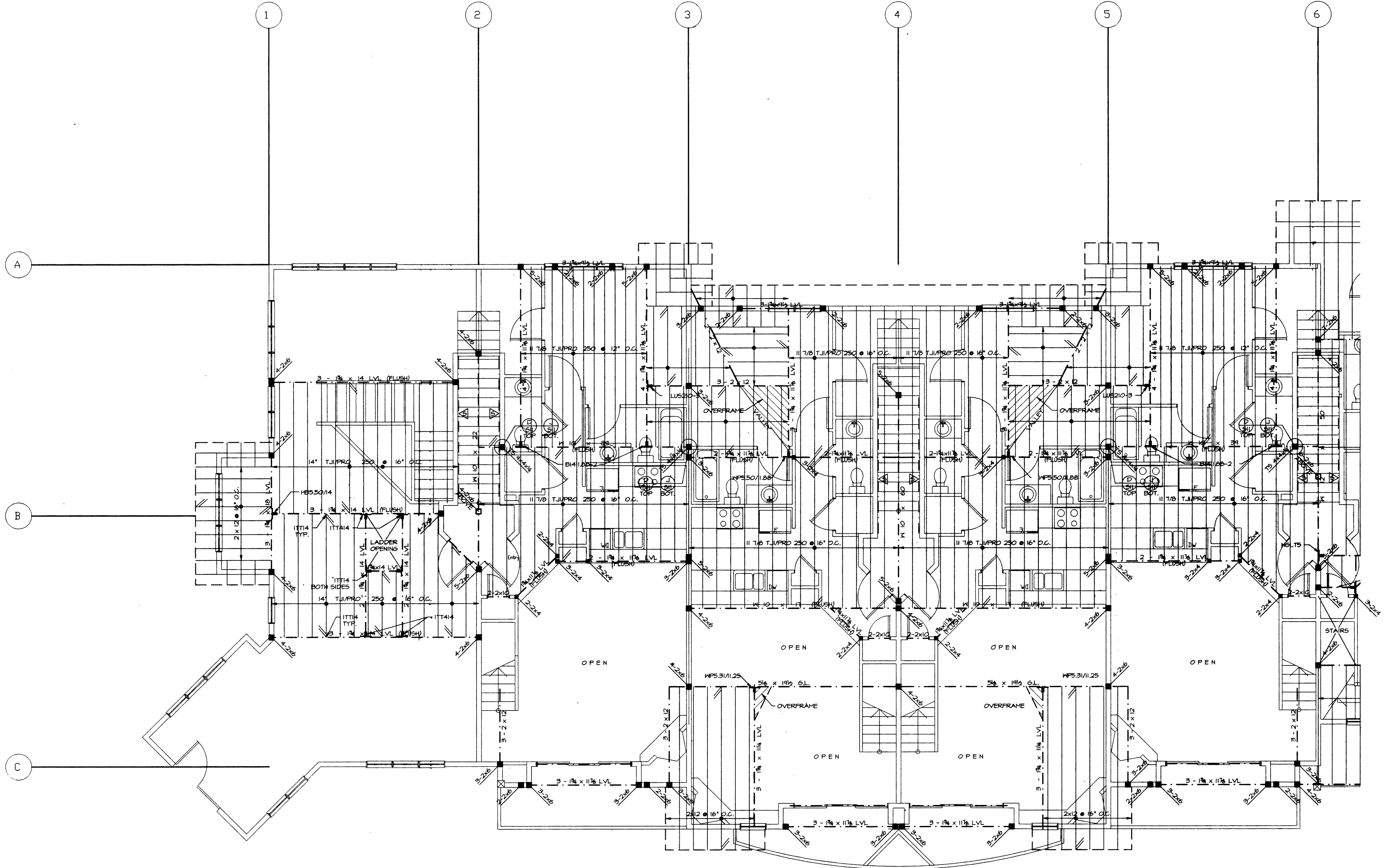
→ INDICATES DIRECTION OF 14 TJI/PRO 350 JOISTS @ 16' O.C. TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE

**DRAKE LANDING**  
 BUILDING 'E'  
 FRISCO, COLORADO



Boyle Engineering, Inc.  
 143 E. Meadow Dr.  
 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970/476-2710

SHEET NUMBER  
 57

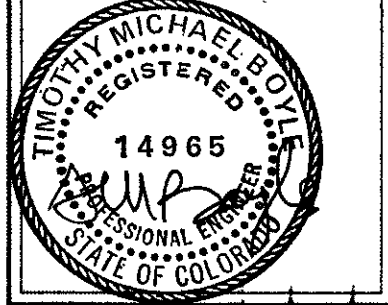


02-045

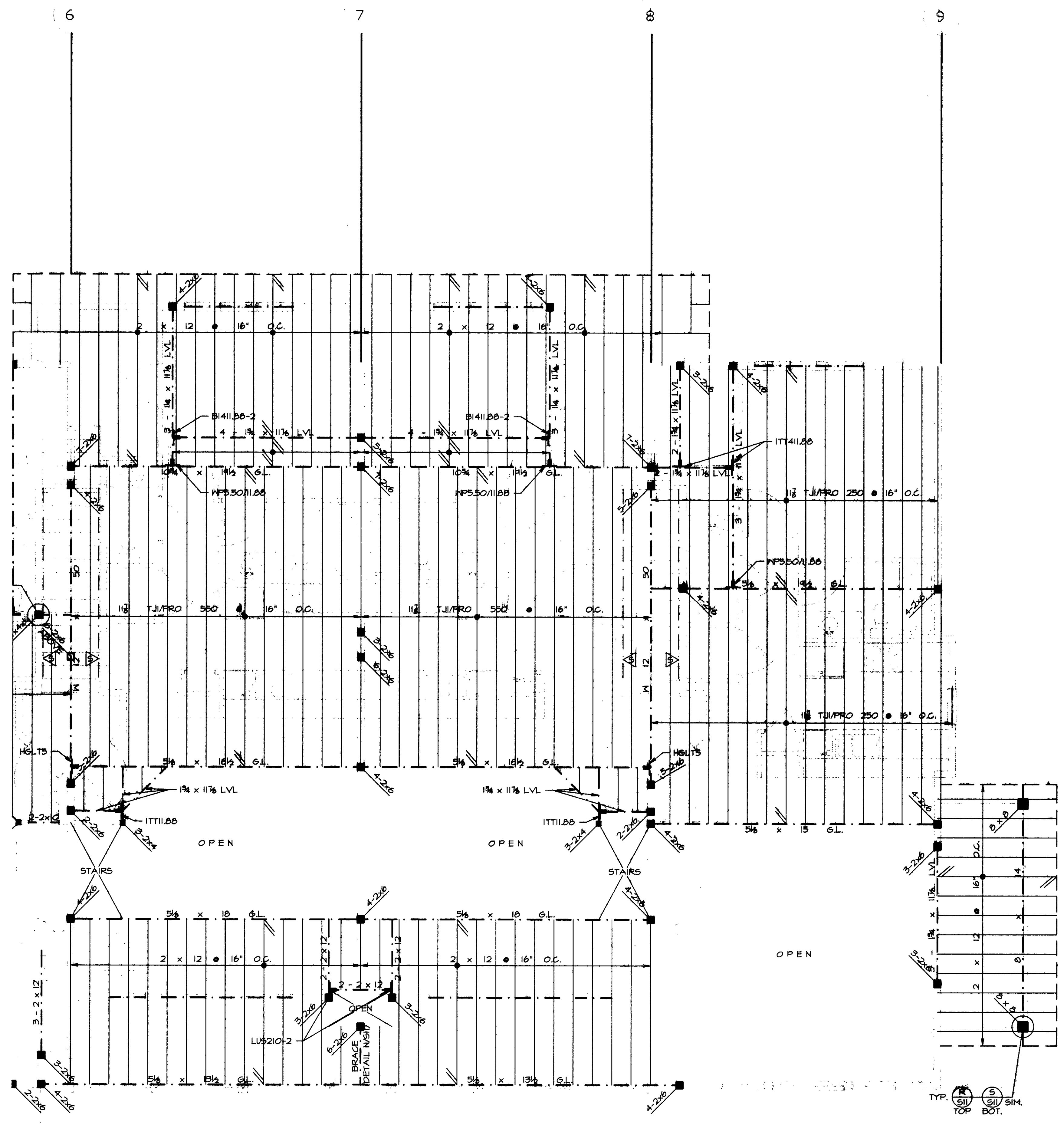
**LOFT LEVEL & LOW ROOF FRAMING PLAN**

1/4" = 1'-0"  
 NOTE:  
 ← INDICATES DIRECTION OF 2 x 12 @ 16" O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE.  
 △ INDICATES SHEAR WALL, SHEATH W/ 7/16 C-D INT APA PLYWOOD, NAIL W/ 8d @ 4" O.C.  
 ▽ AT PANEL EDGES @ 12" O.C. IN THE FIELD.  
 HANG FLOOR JOISTS FROM FLUSH BEAMS WITH ITT11&8 HANGERS

**DRAKE LANDING**  
**BUILDING 'E'**  
**FRISCO, COLORADO**



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 crossroads shopping center  
 vail, colorado 81657  
 970/476-2110

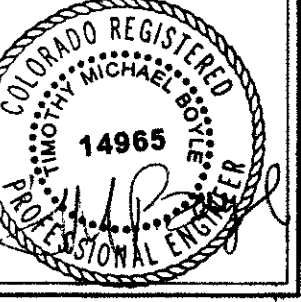


02-045

**LOFT LEVEL & LOW ROOF FRAMING PLAN**

1/4" = 1'-0"  
 NOTE:  
 ← INDICATES DIRECTION OF 2 x 12 @ 16' O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
 ALL EXTERIOR WALL HEADERS ARE 2 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE.  
 △ INDICATES SHEAR WALL SHEATH W/ 7/16" C-D INT APA PLYWOOD, NAIL W/ 8d @ 4" O.C. AT PANEL EDGES & 12" O.C. IN THE FIELD.  
 HANG FLOOR JOISTS FROM FLUSH BEAMS WITH IT1711.88 HANGERS

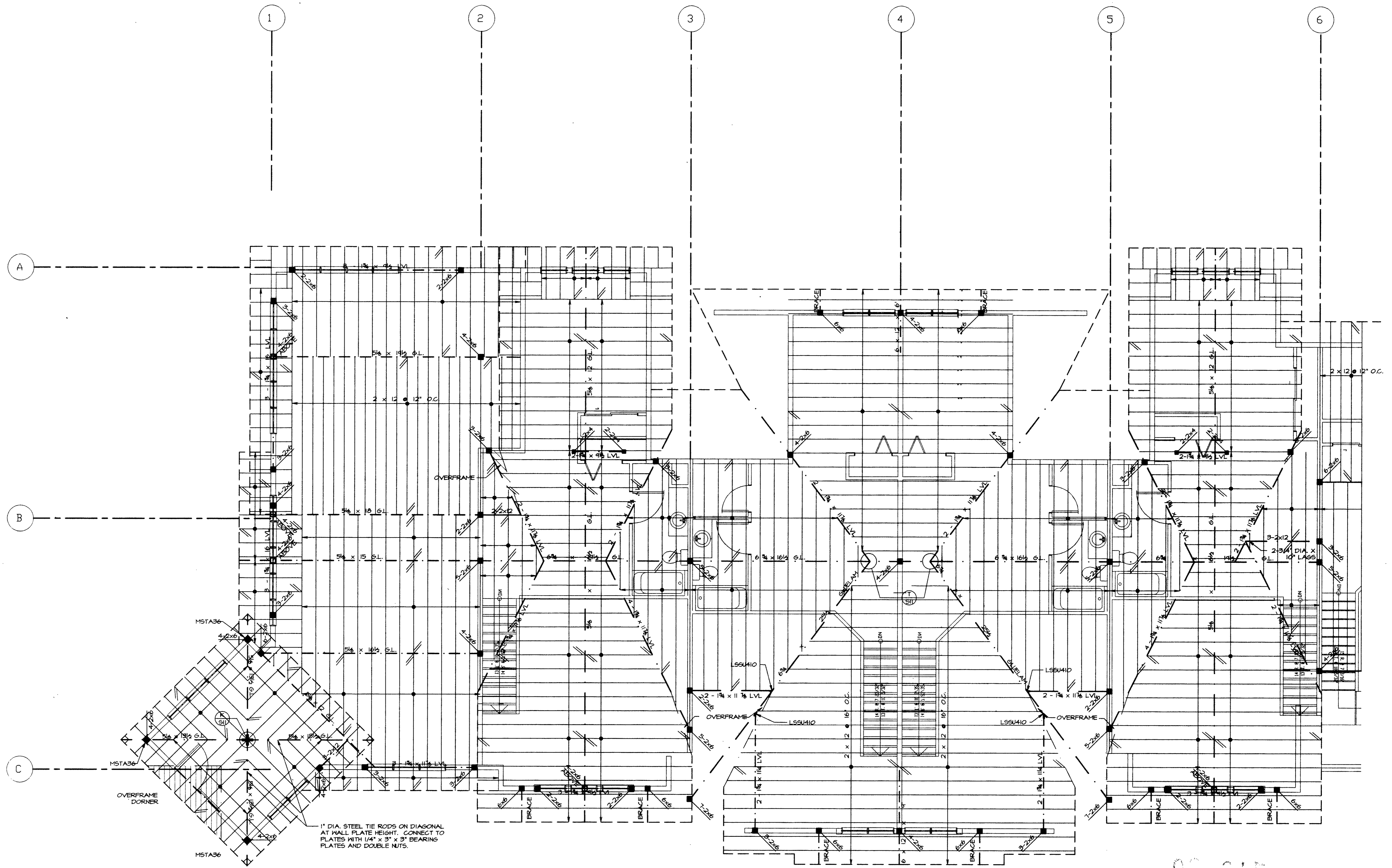
**DRAKE LANDING  
 BUILDING 'E'  
 FRISCO, COLORADO**



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143 E. Meadow Dr.  
Crossroads Shopping Center  
Vail, Colorado 81651  
970/476-2110

SHEET NUMBER  
09

DRAKE LANDING  
BUILDING 'E'  
FRISCO, COLORADO



**ROOF FRAMING PLAN**

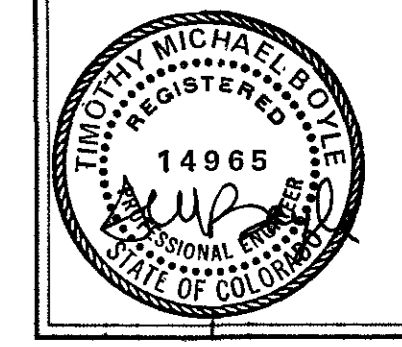
1/4" = 1'-0"

NOTE:

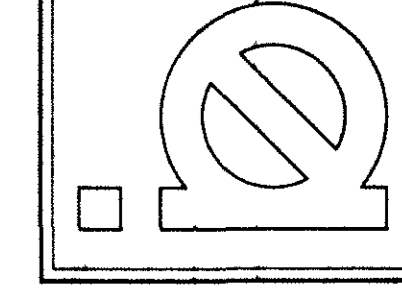
← INDICATES DIRECTION OF 2 x 12 @ 12' O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE.  
ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE.  
SEE DETAIL N511 FOR ROOF BRACES

02-015

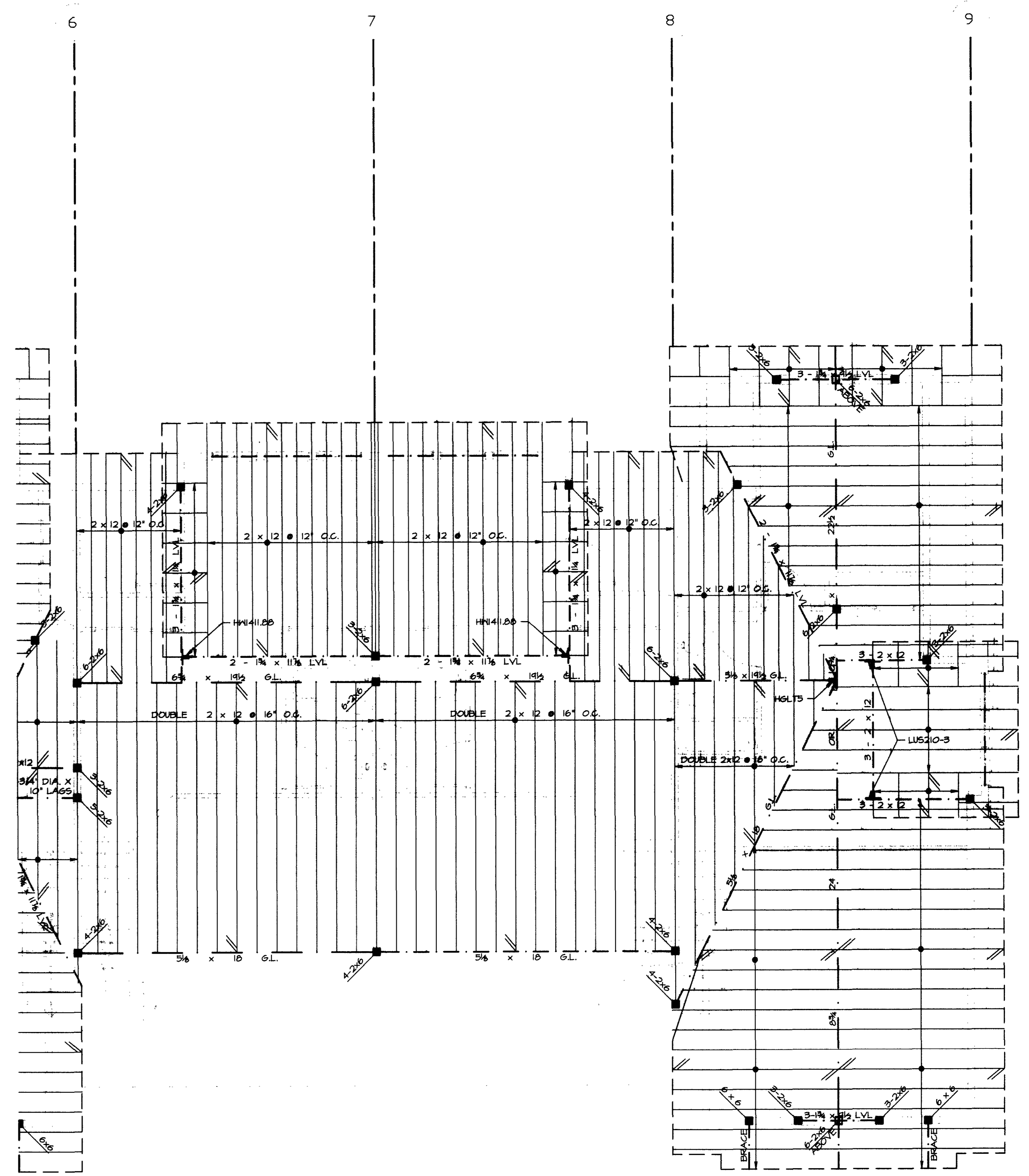
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 FILE: drake-01  
 DRAWN: RJB  
 REVISED:  
 REVISED:



Boyle Engineering, Inc.  
 143 E. Meadow Dr.  
 Crossroads Shopping Center  
 Vail, Colorado 81657  
 970/476-2110



Sheet No. 510



02-045

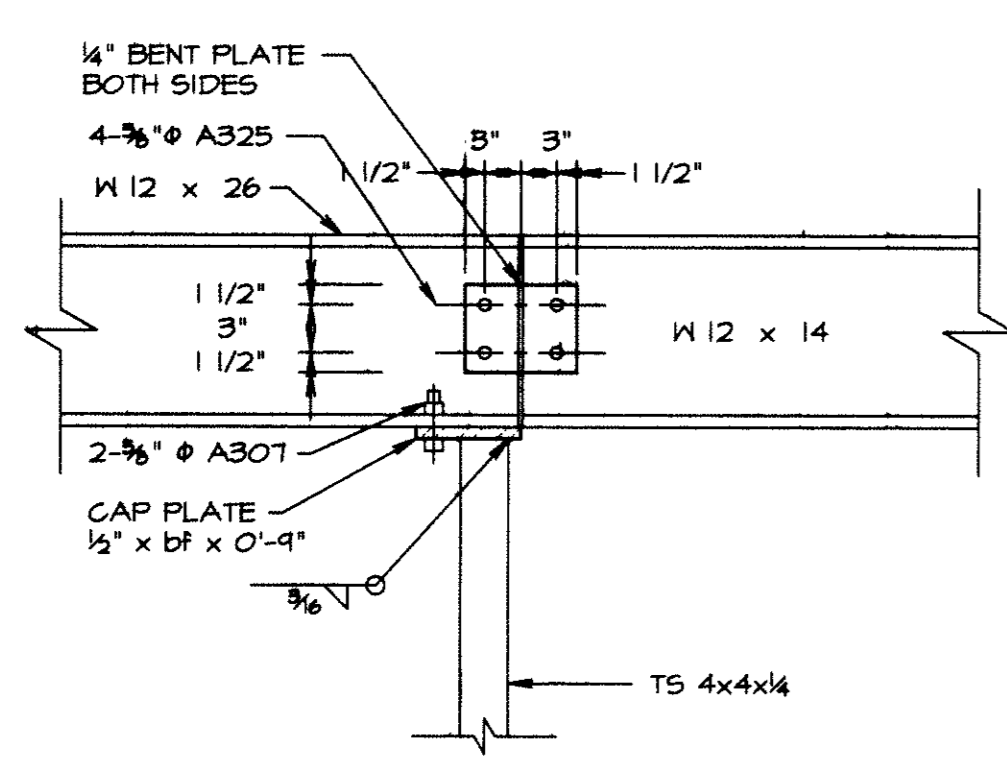
**ROOF FRAMING PLAN**

1/4" = 1'-0"

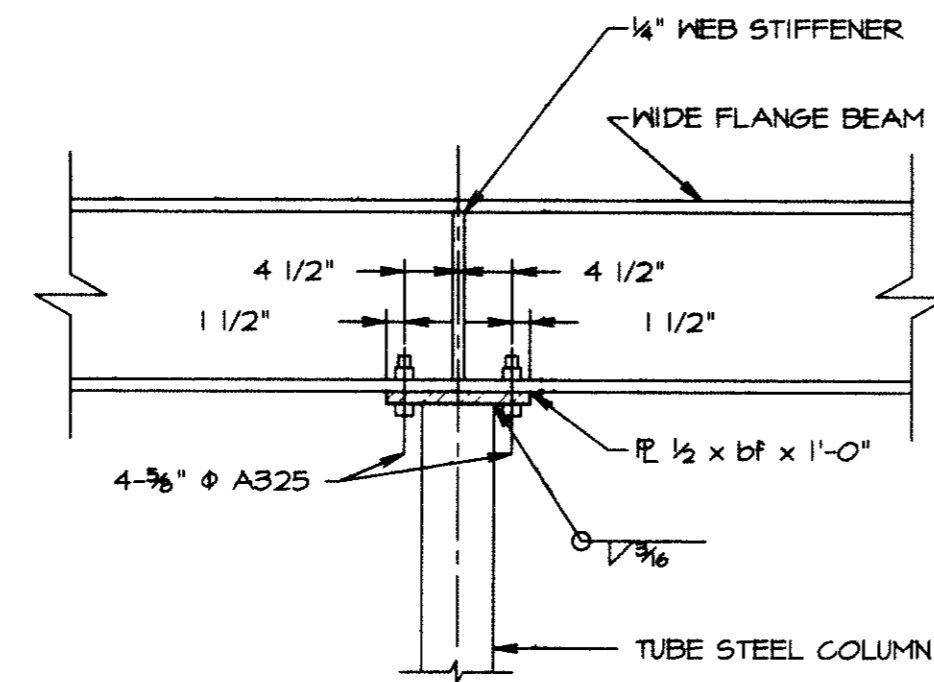
NOTE:

INDICATES DIRECTION OF 2 x 12 @ 16" O.C. RAFTERS, TYPICAL UNLESS NOTED OTHERWISE  
 ALL EXTERIOR WALL HEADERS ARE 3 - 2 x 10 W/ SINGLE 2x6 TRIMMERS TYPICAL UNLESS NOTED OTHERWISE  
 SEE DETAIL WS1 FOR ROOF BRACES

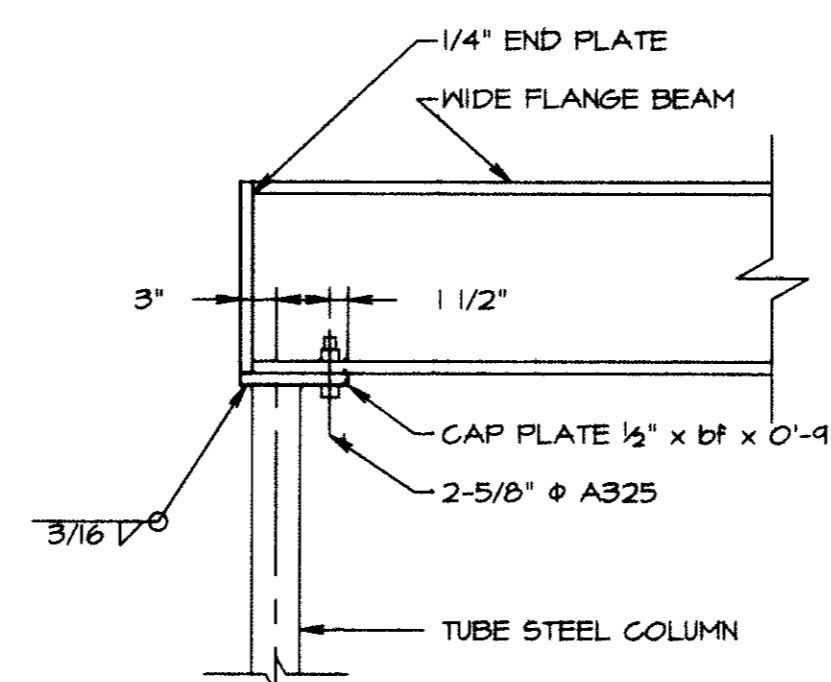
DRAKE LANDING  
 BUILDING 'E'  
 FRISCO, COLORADO



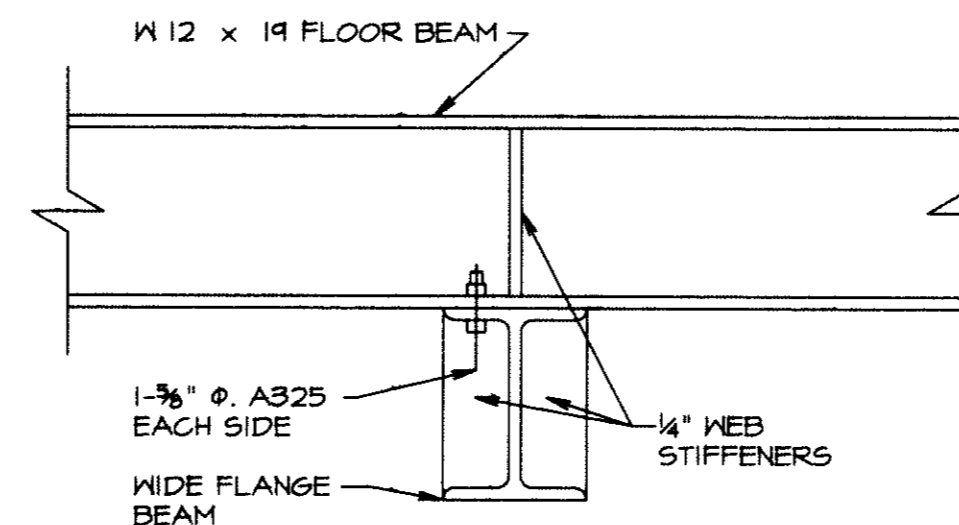
**DETAIL F**  
SCALE 1/4"=1'-0"



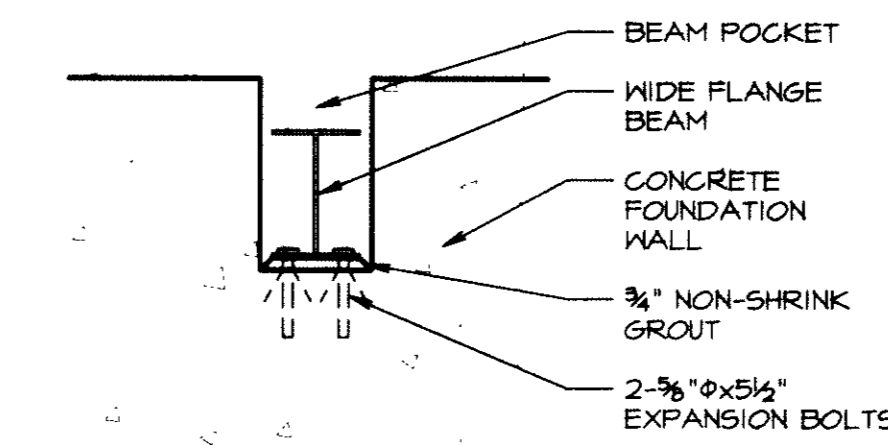
**DETAIL E**  
SCALE 3/4"=1'-0"



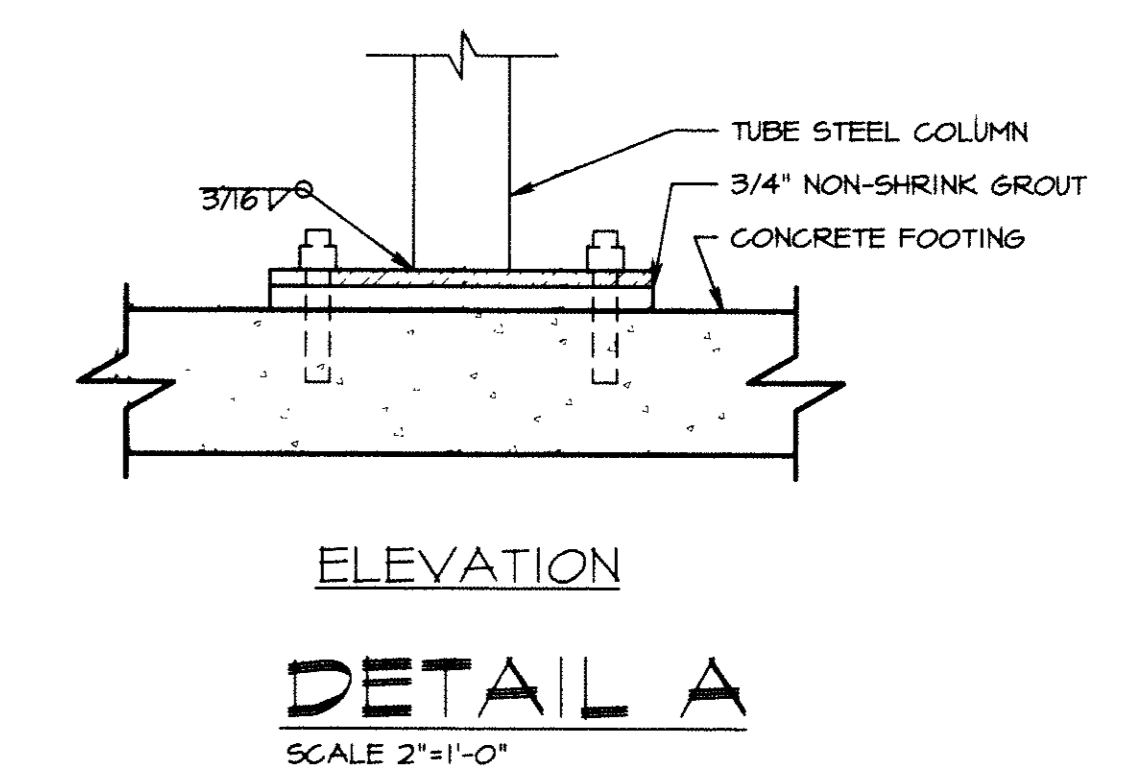
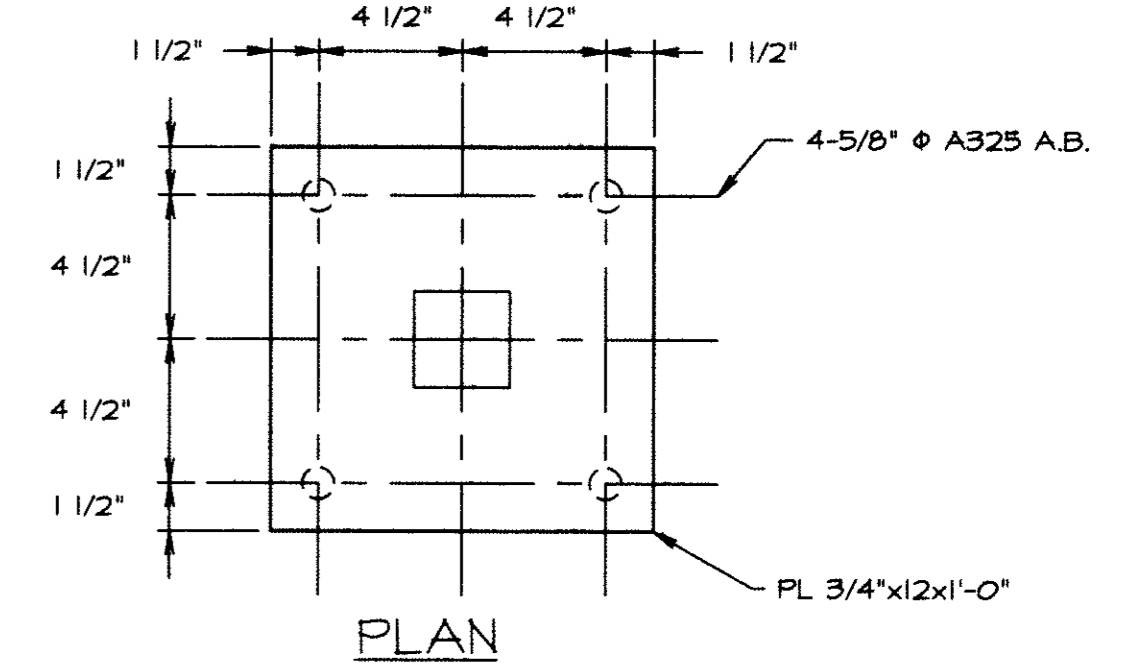
**DETAIL D**  
SCALE 3/4"=1'-0"



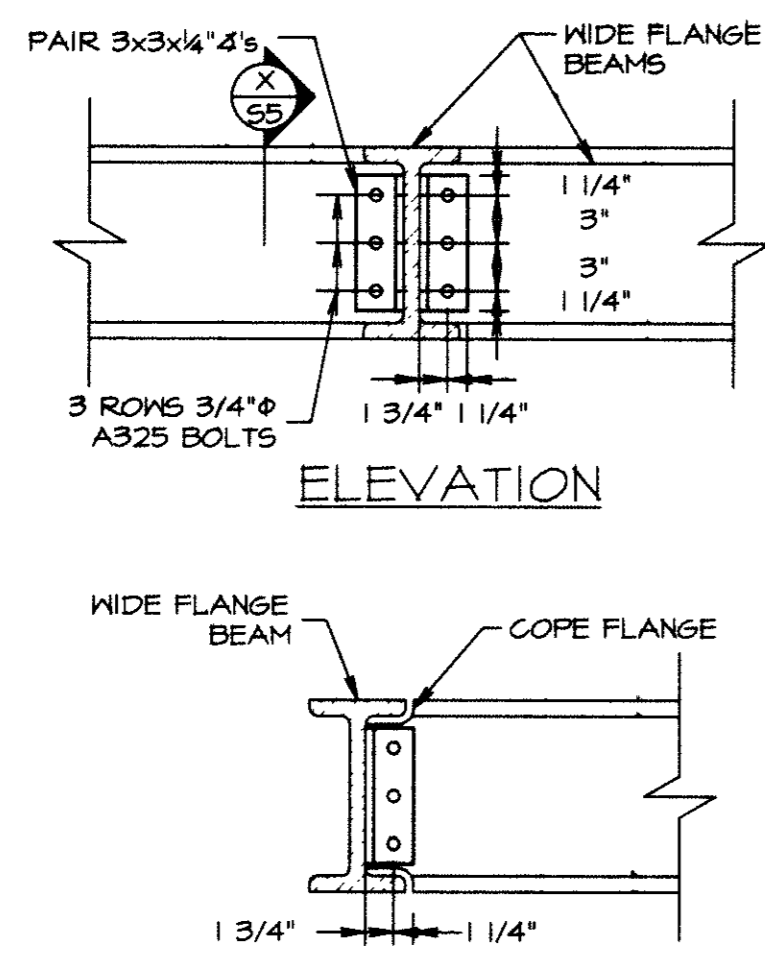
**DETAIL C**  
SCALE 1/2"=1'-0"



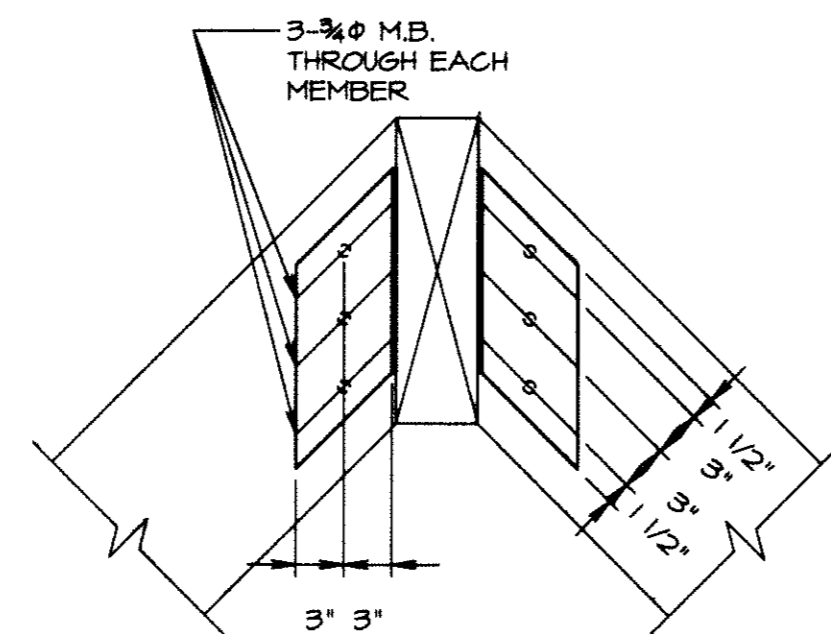
**DETAIL B**  
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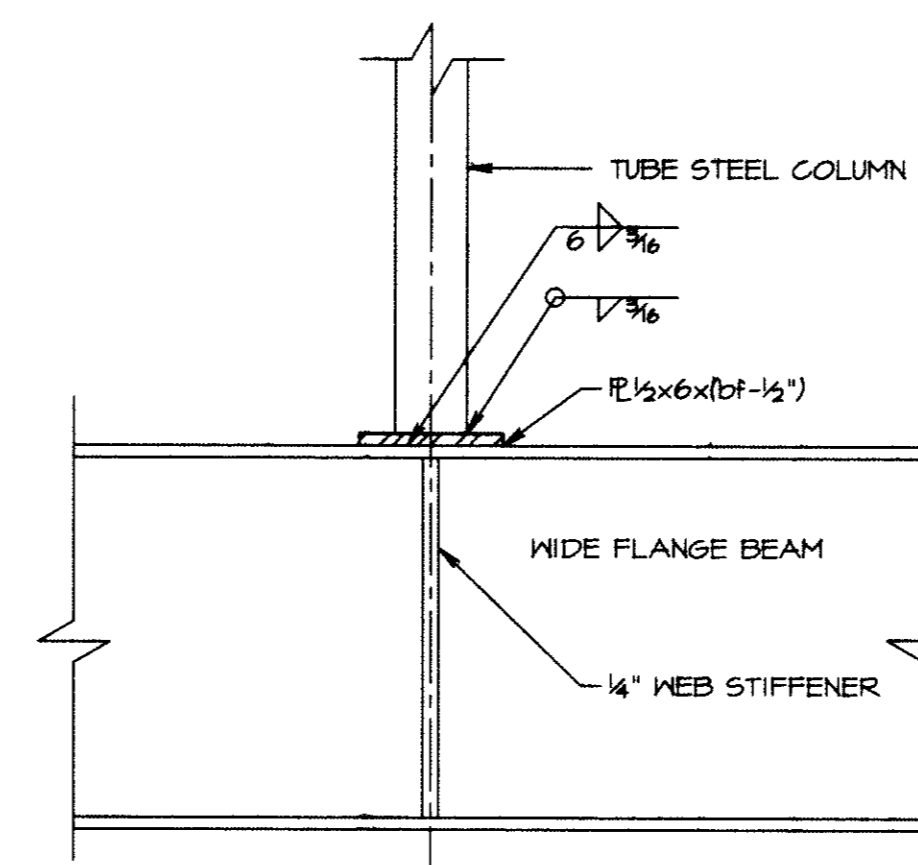
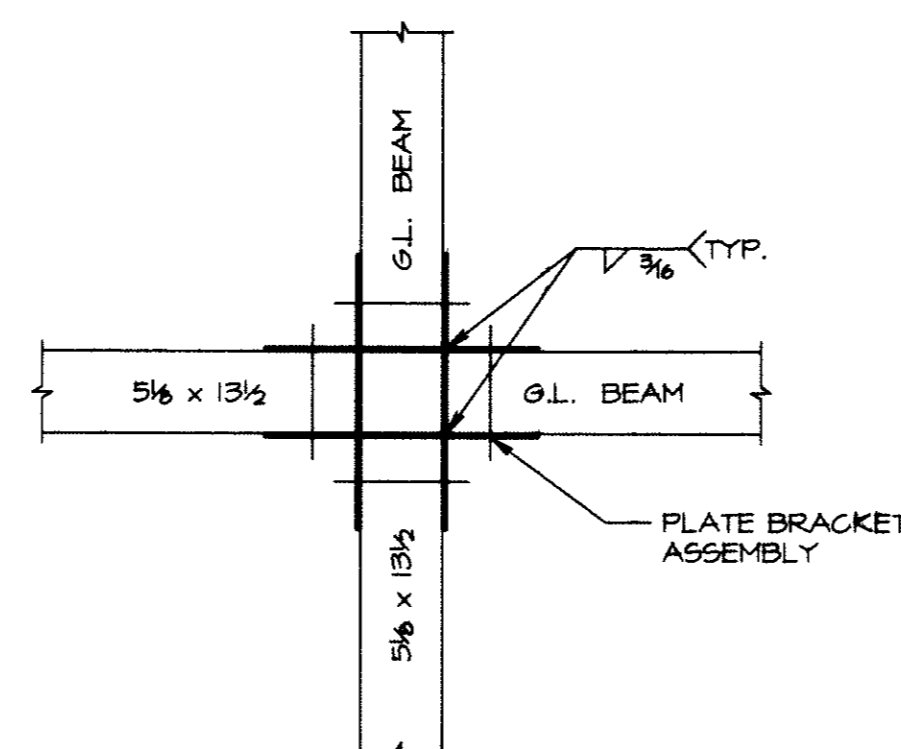
**DETAIL A**  
SCALE 2"=1'-0"



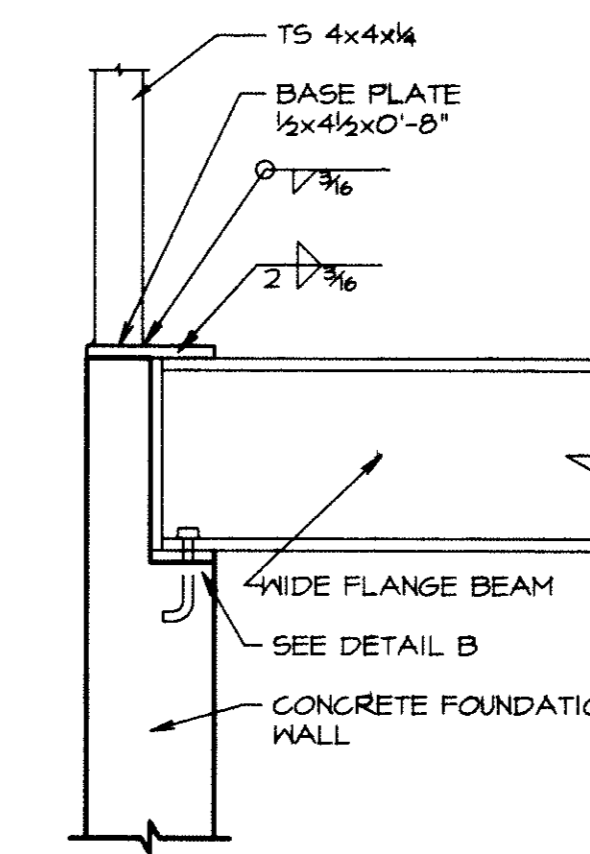
**DETAIL L**  
SCALE 1"=1'-0"



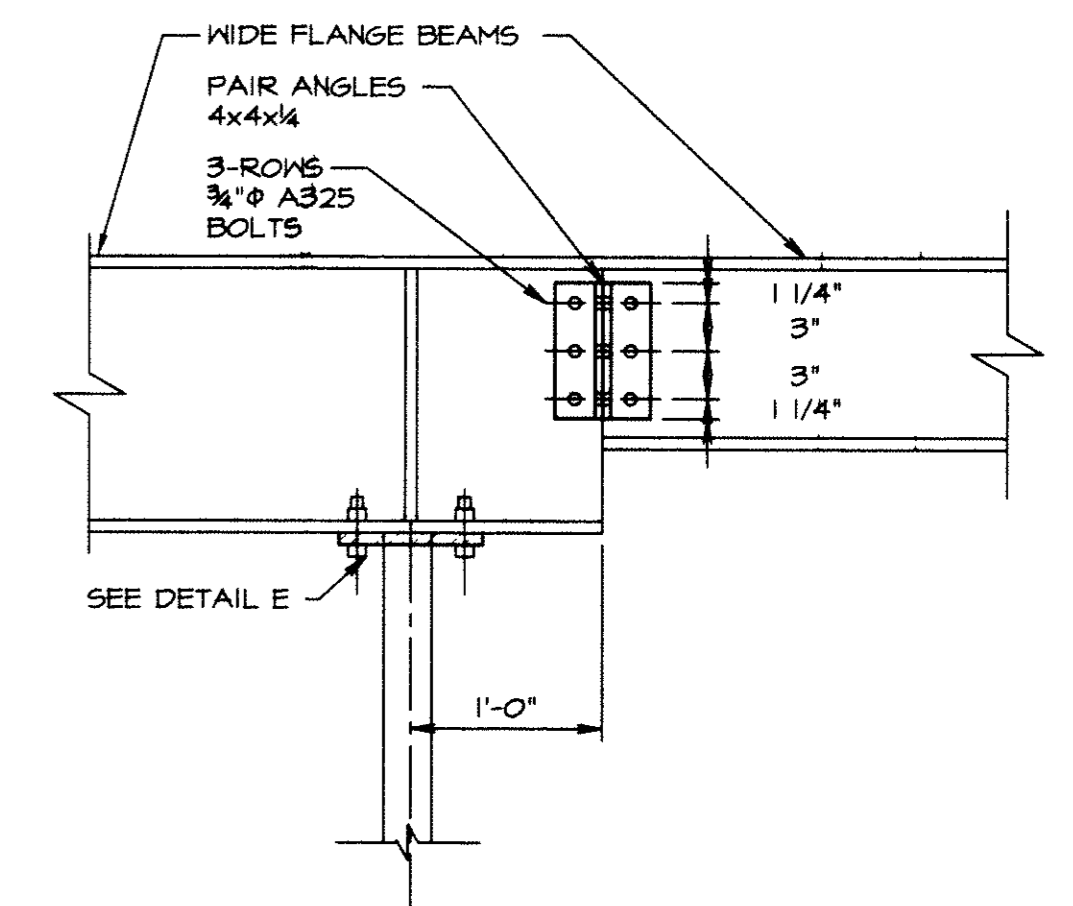
**DETAIL K**  
SCALE 1"=1'-0"



**DETAIL J**  
SCALE 1/2"=1'-0"



**DETAIL H**  
SCALE 1"=1'-0"



**DETAIL G**  
SCALE 1"=1'-0"

**GENERAL NOTES**

This structure has been designed to meet the requirements of the 1997 Uniform Building Code with amendments as adopted by the Town of Frisco.

All omissions or conflicts between various elements of the working drawings and/or specifications shall be brought to the attention of the Structural Engineer before proceeding with any work so involved. The General Contractor shall verify all dimensions and conditions at the job site and shall be responsible for the means, methods, techniques, sequences and procedures associated with this project. Furthermore, he shall be responsible for coordination of all work and materials including those furnished by subcontractors. The Structural Engineer shall be contacted during the construction phase to make the job site inspections necessary to confirm that the actual field conditions are consistent with the design assumptions and that the construction is proceeding according to the plans and specifications.

Live Loads Used in Design:  
 Roof 80 psf  
 Residential Floors 40 psf  
 Office Floors 50 psf  
 Retail Floors 100 psf  
 Decks 80 psf  
 Common Stairs 100 psf  
 Earthquake Zone I UBC  
 Wind 80 mph, Exposure B

The foundation design for this residence is based upon Subsoil Study for Foundation Design No. 400-134 prepared by H-P Geotech on June 1, 2000. The Soils Engineer shall be contacted during excavation to inspect the site and confirm that conditions are consistent with this investigation. The General Contractor should review the Soils Engineer's report and follow its recommendations for excavation, backfilling, grading and drainage systems.

**SPECIFICATIONS**

All 2x dimensional framing lumber shall be #2 Doug-Fir or better. All bearing walls and exterior walls to be framed of 2 x 6 studs at 16" on center.

All T-J joints to be manufactured by Trus-Joist MacMillan.

All micro-lam's to conform to the allowable stress requirements for a 1 1/2" DF Micro-lam LVL.

All glue-lam beams to conform to the allowable stress requirements for a F24-V4 combination beam.

All connection hardware to be by the Simpson Company.

All floor decking to be 3/4" C-D Int. APA 48/24 1/4 g. plywood. Glue decking to joists with FRACO and nail with 10d @ 6" o.c. at panel edges and 12" o.c. in the field.

All roof decking to be 3/4" C-C ext. APA 32/16 plywood.

All exterior wall sheathing to be 1/2" O.S.B. Nail w/8d @ 4" o.c. at panel edges & 12" o.c. in the field.

All steel bolts shall conform to ASTM A325 specifications.

All tube steel columns shall conform to ASTM A500 specifications.

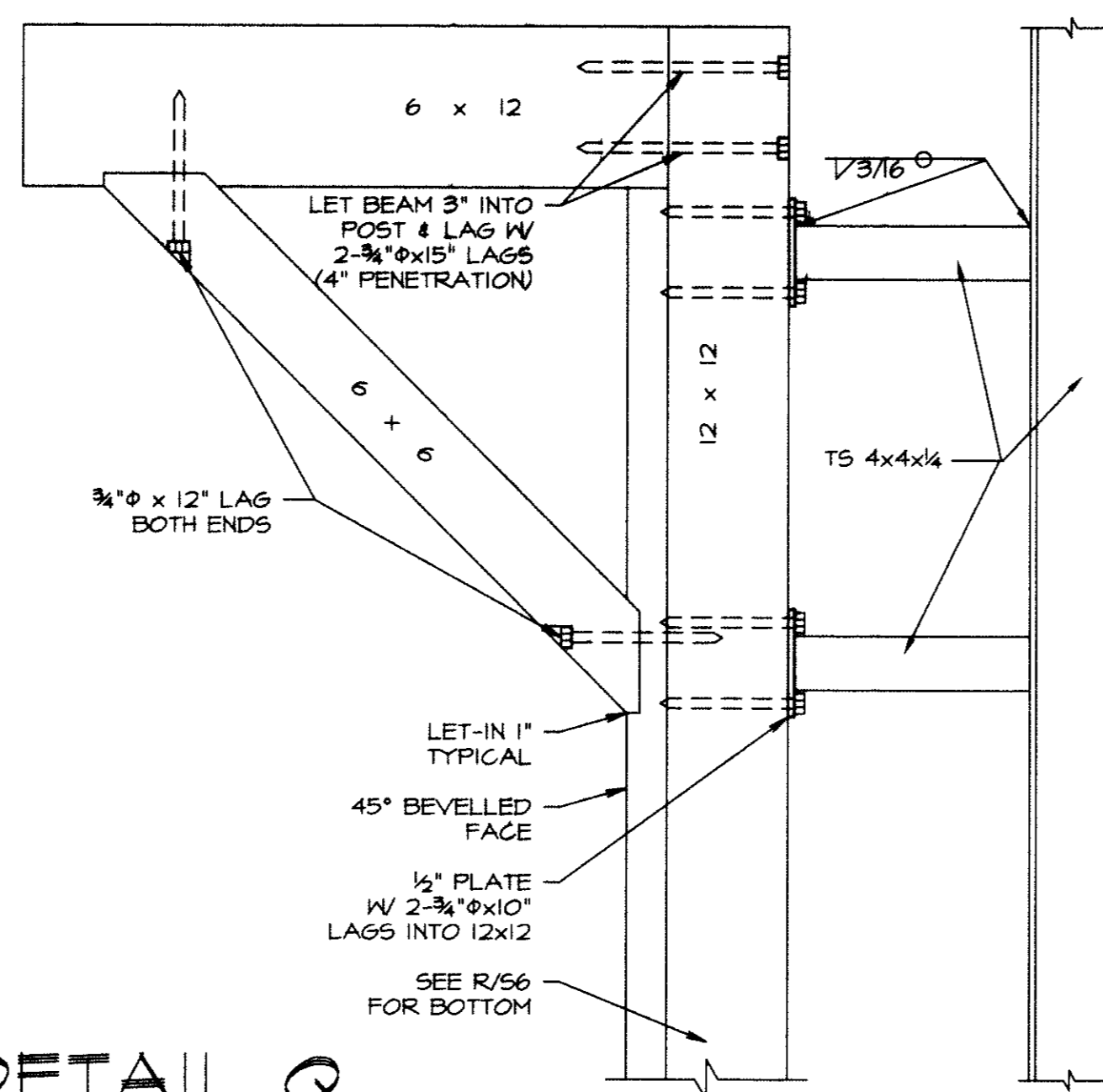
All steel beams, plate and angles shall conform to ASTM A36 specifications.

All concrete to attain a compressive strength of 3000 psi in 28 days.

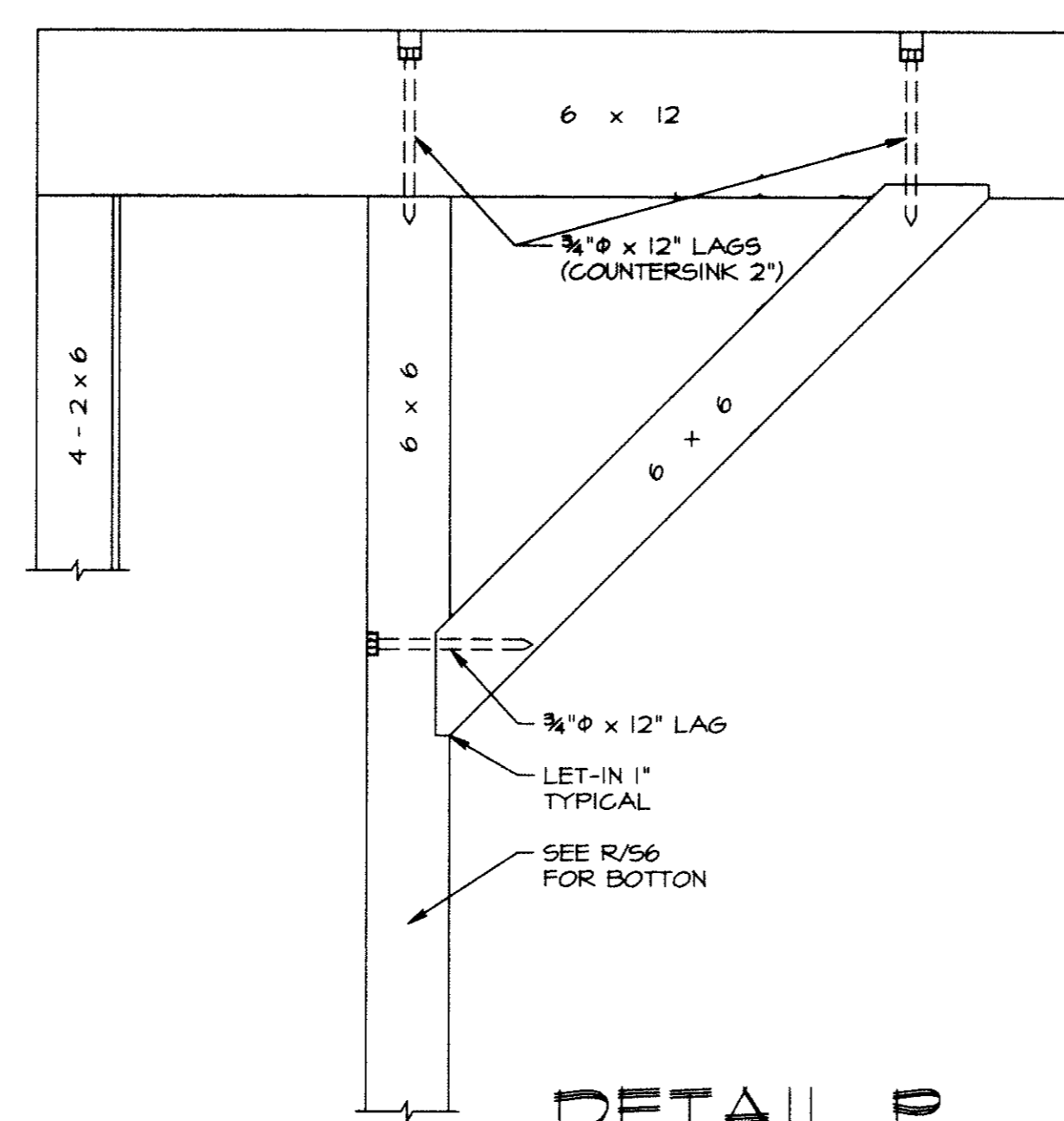
All reinforcing bars to be Grade 60.

All masonry block units shall conform to ASTM specification C90, Grade N (minimum fm=1350 psi).

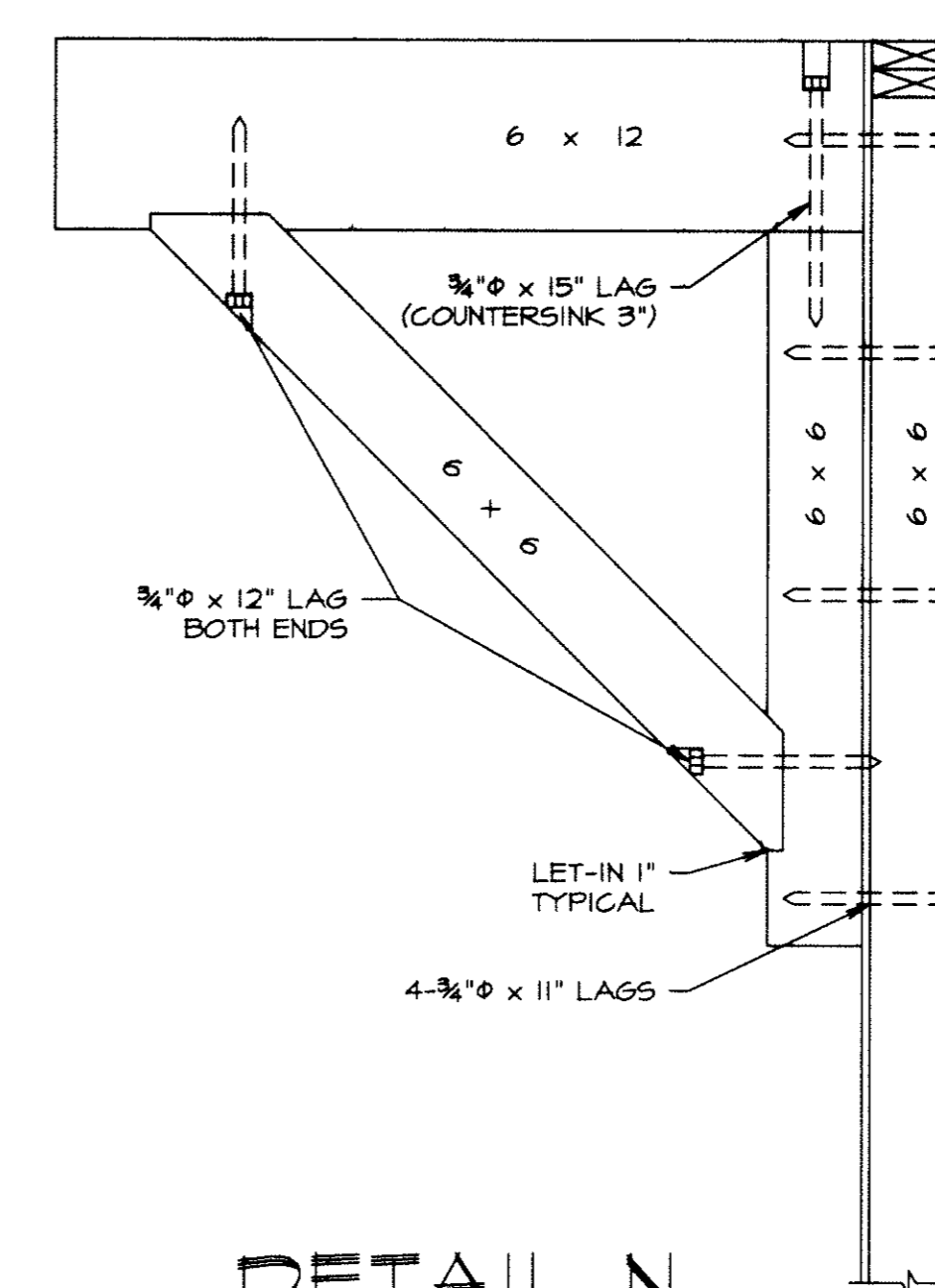
All mortar shall conform to ASTM specification C270, Type S.



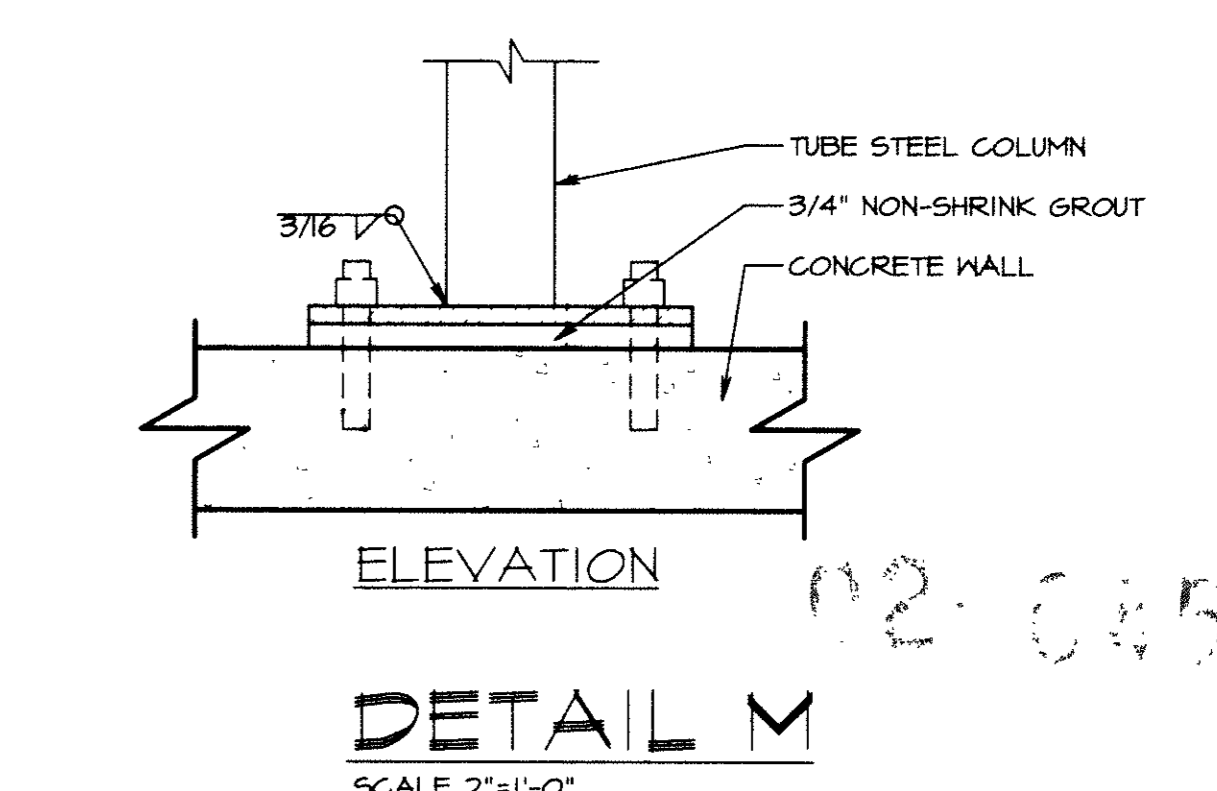
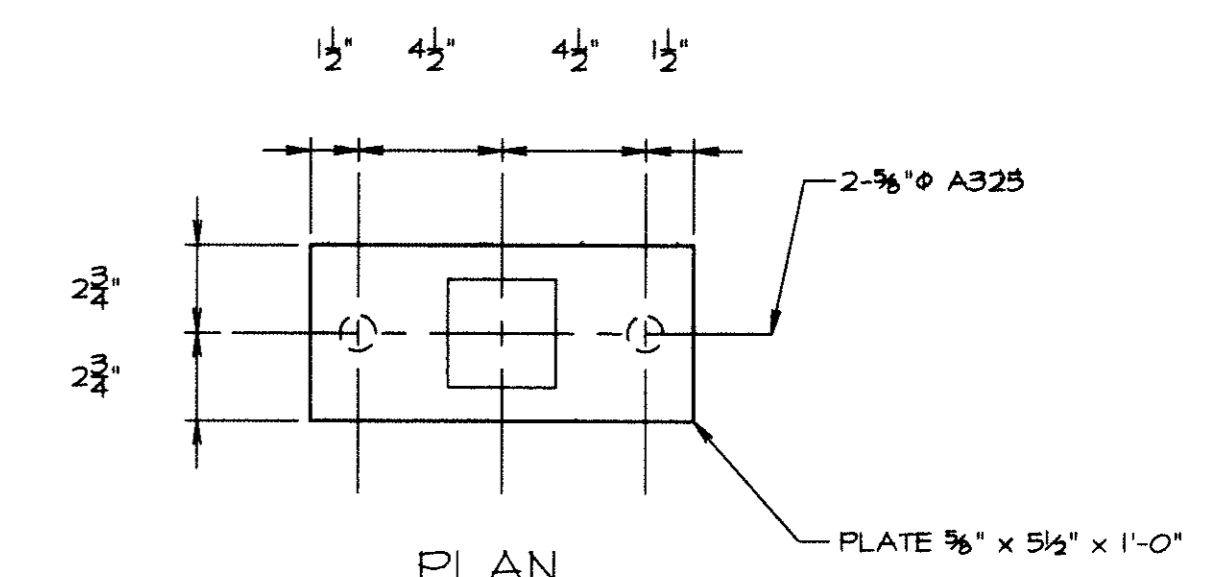
**DETAIL Q**  
SCALE 2"=1'-0"



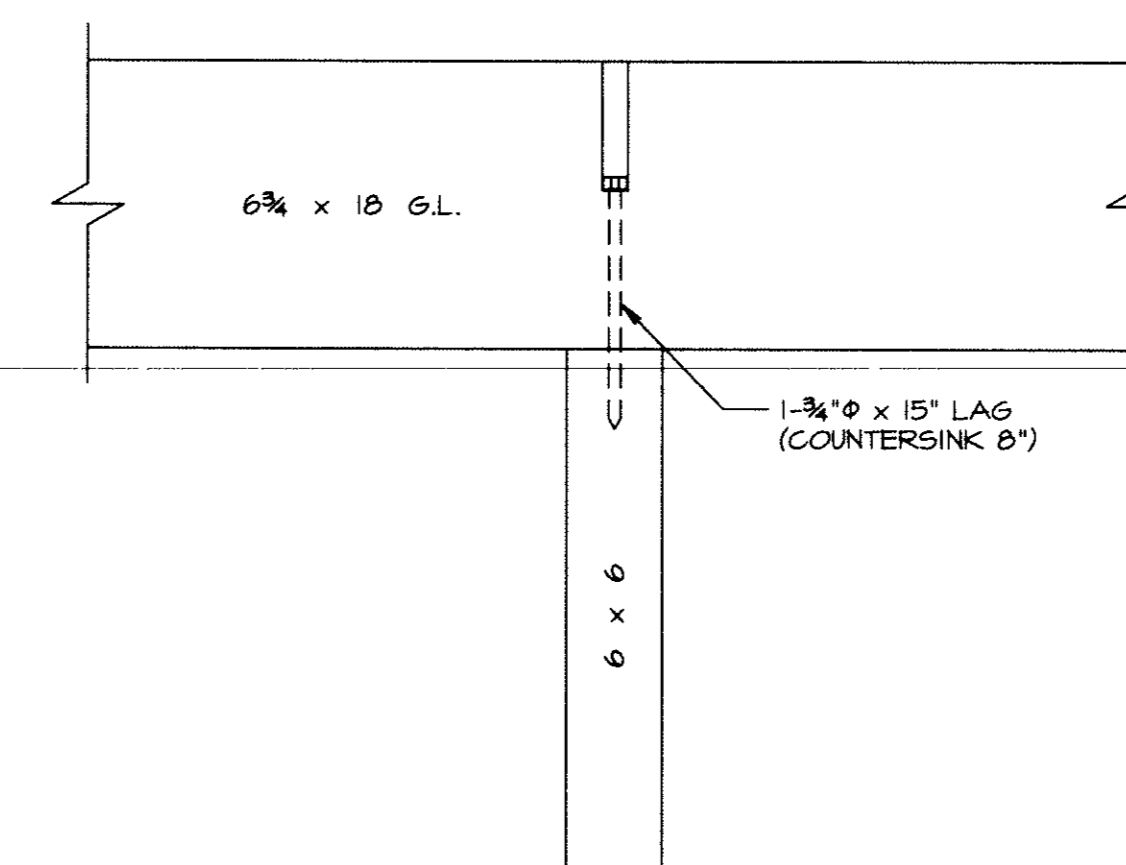
**DETAIL P**  
SCALE 2"=1'-0"



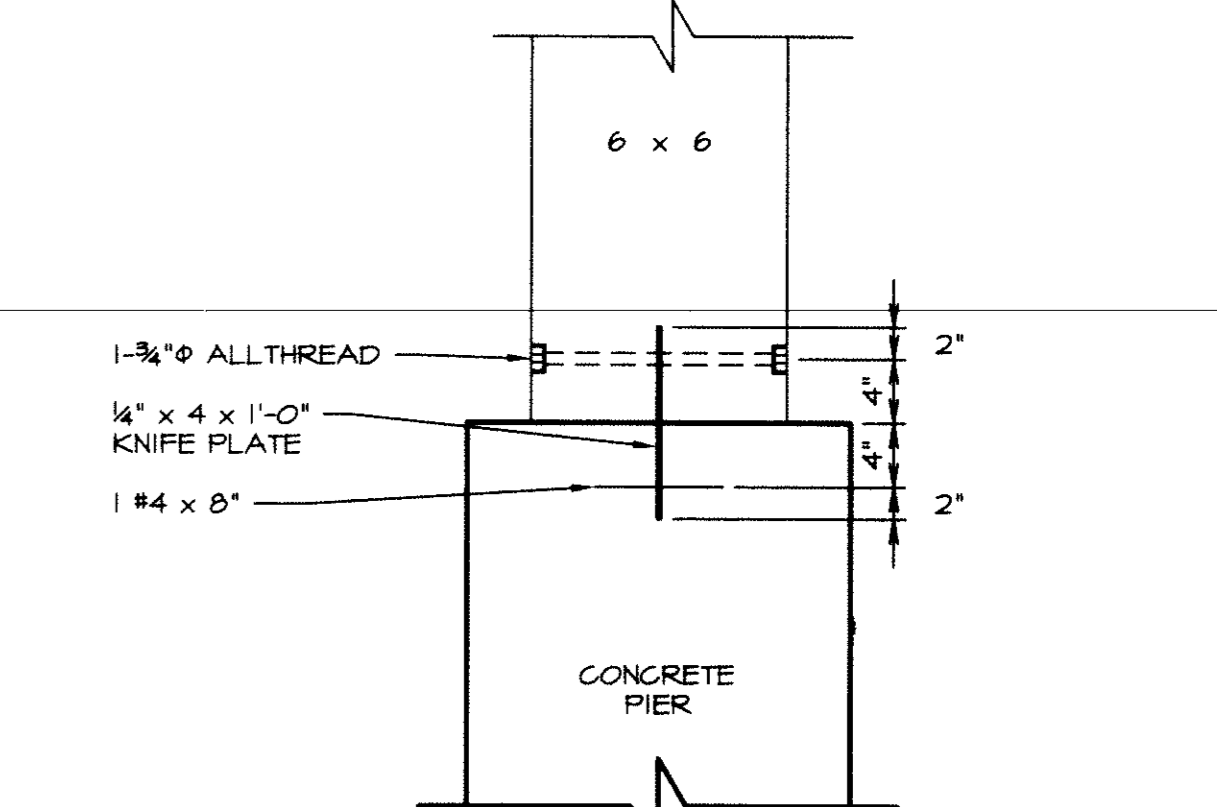
**DETAIL N**  
SCALE 2"=1'-0"



**DETAIL M**  
SCALE 2"=1'-0"

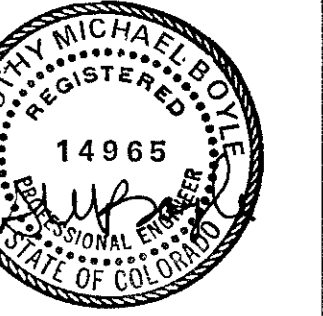


**DETAIL S**  
SCALE 1"=1'-0"



**DETAIL R**  
SCALE 1"=1'-0"

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 DRAWN: RJB  
 REVISED:



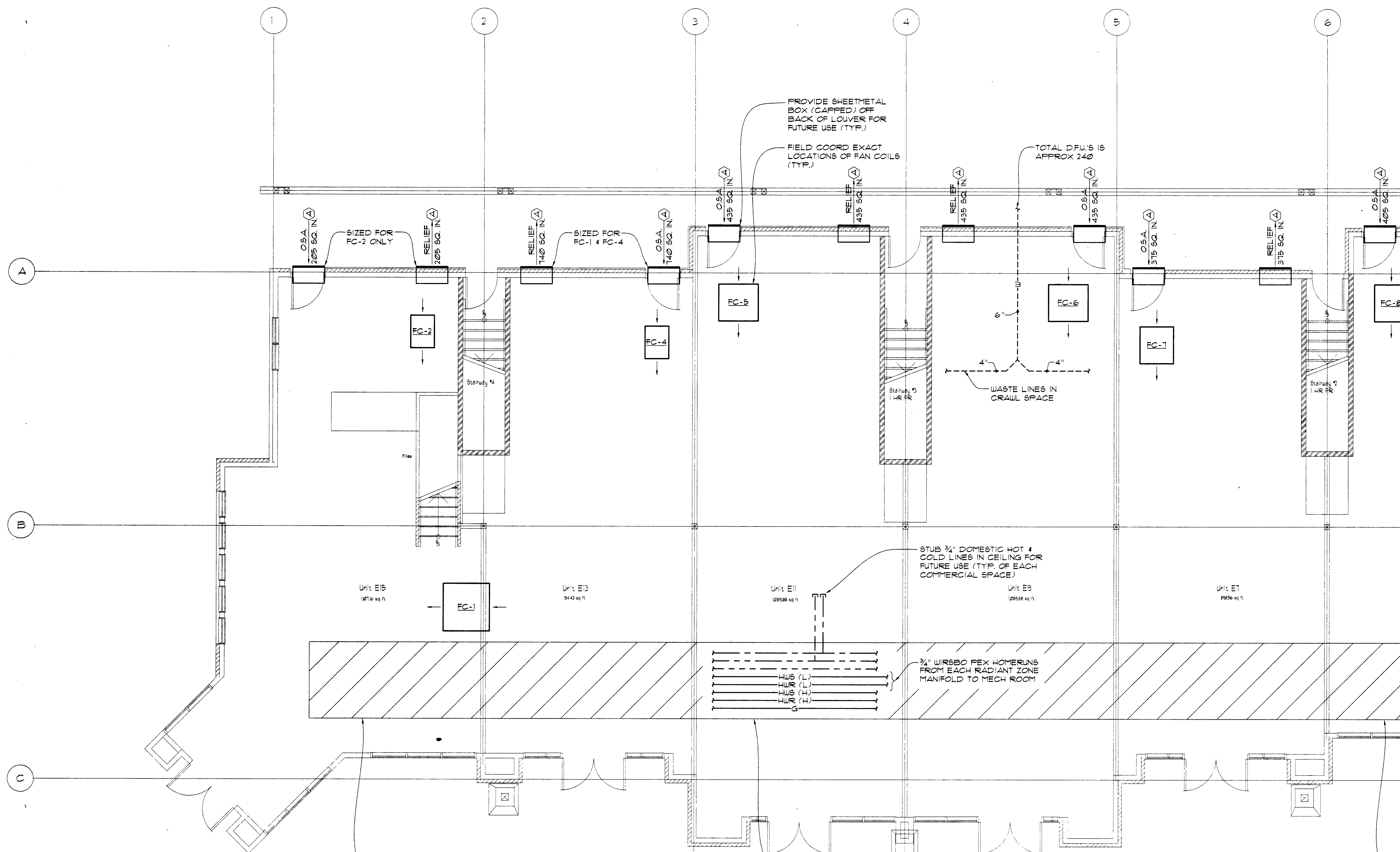
Boyle Engineering, Inc.  
 143 E. meadow dr.  
 crossroads shopping center  
 vail, colorado 81657  
 970/476-2710

SHEET NUMBER  
 S11

DRAKE LANDING  
 BUILDING 'E'  
 FRISCO, COLORADO





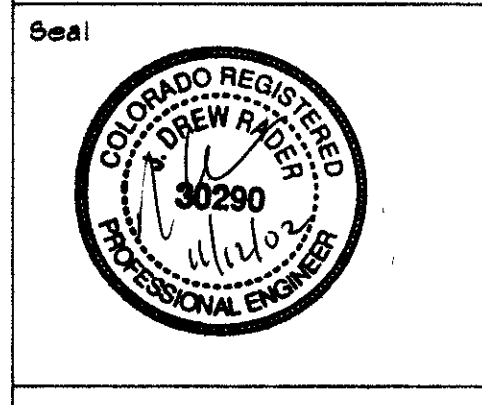


DEDICATED SPACE FOR PLUMBING LINES, INCLUDING GAS, DOMESTIC HOT, DOMESTIC COLD, DOMESTIC RECIRC HEATING WATER SUPPLY & HEATING WATER RETURN. INSTALL TO ALLOW FOR INSTALLATION OF FUTURE DUCTWORK.

CONTRACTOR TO DETERMINE EXACT CONFIGURATION OF PIPING. SEE SCHEMATICS ON SHEET M2.0 FOR PIPE SIZES AND OTHER INFORMATION. PLUMBING CONTRACTOR TO SIZE DOMESTIC HOT & COLD PIPING.

- NOTES:**
1. FAN COILS HAVE BEEN SIZED FOR FUTURE AIR CONDITIONING. CONTRACTOR TO ROUGH-IN REFRIGERANT LINE SETS FROM CRAWL SPACE TO CEILING PLenum FOR FUTURE USE.
  2. OUTSIDE AIR INTAKE LOUVERS & PRESSURE RELIEF LOUVERS HAVE BEEN SIZED FOR ECONOMIZER COOLING (100% O.S.A.).

MAIN LEVEL MECHANICAL PLAN  
 1/4" = 1'-0"  
 NORTH



**DRAKE LANDING  
 BUILDING "E"  
 FRISCO, COLORADO**

Issued For

No.	Date	Comment
1	11/2/02	PERMIT

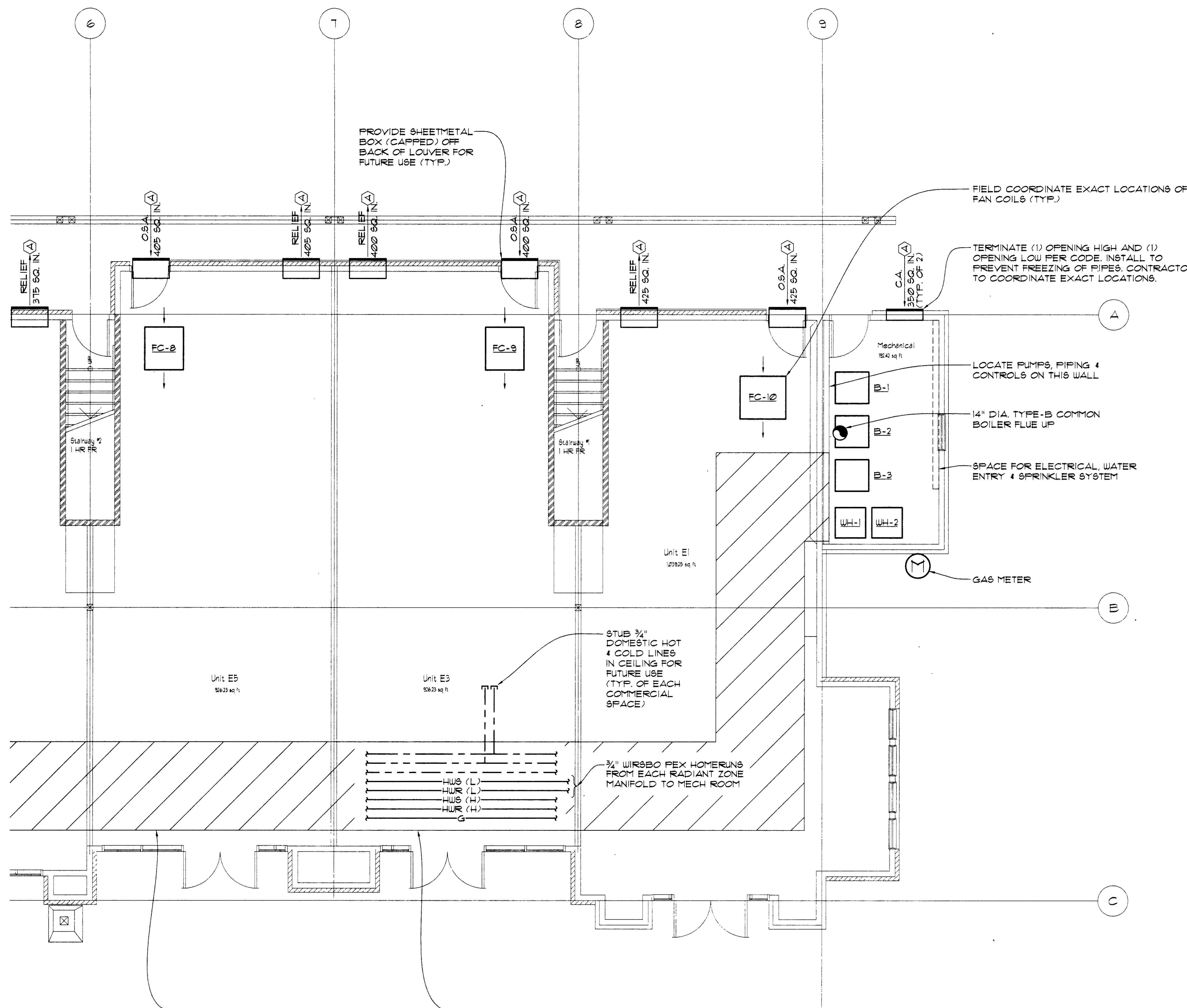
022062  
 11/21

MAIN LEVEL MECHANICAL PLAN

Project No. 2013.00	Date: 11/12/02
Drawn By: BJH	Checked By: JDR

Sheet No. 2  
**M 2.1**  
 of 8

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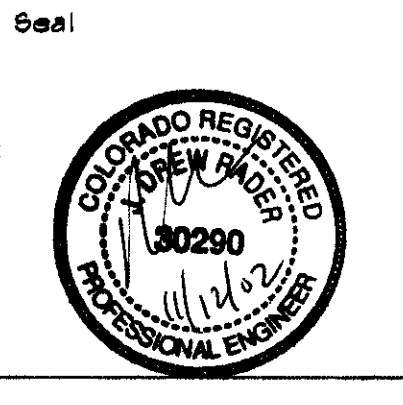
DEDICATED SPACE FOR PLUMBING LINES, INCLUDING GAS, DOMESTIC HOT, DOMESTIC COLD, DOMESTIC RECIRC, HEATING WATER SUPPLY & HEATING WATER RETURN. INSTALL TO ALLOW FOR INSTALLATION OF FUTURE DUCTWORK.

CONTRACTOR TO DETERMINE EXACT CONFIGURATION OF PIPING. SEE SCHEMATICS ON SHEET M3.0 FOR PIPE SIZES AND OTHER INFORMATION. PLUMBING CONTRACTOR TO SIZE DOMESTIC HOT & COLD PIPING.

**NOTES:**

- FAN COILS HAVE BEEN SIZED FOR FUTURE AIR CONDITIONING. CONTRACTOR TO ROUGH-IN REFRIGERANT LINE SETS FROM CRAWL SPACE TO CEILING PLENUM FOR FUTURE USE.
- OUTSIDE AIR INTAKE LOUVERS & PRESSURE RELIEF LOUVERS HAVE BEEN SIZED FOR ECONOMIZER COOLING (100% O.S.A.).

**RADER**  
 ENGINEERING • COMFORT SYSTEMS  
 40630 HIGHWAY 6, SUITE E-1  
 P.O. BOX 8610 AVON, CO. 81620  
 (970) 845-1910 / FAX: (970) 845-1522



**DRAKE LANDING  
 BUILDING "E"  
 FRISCO, COLORADO**

Issued For

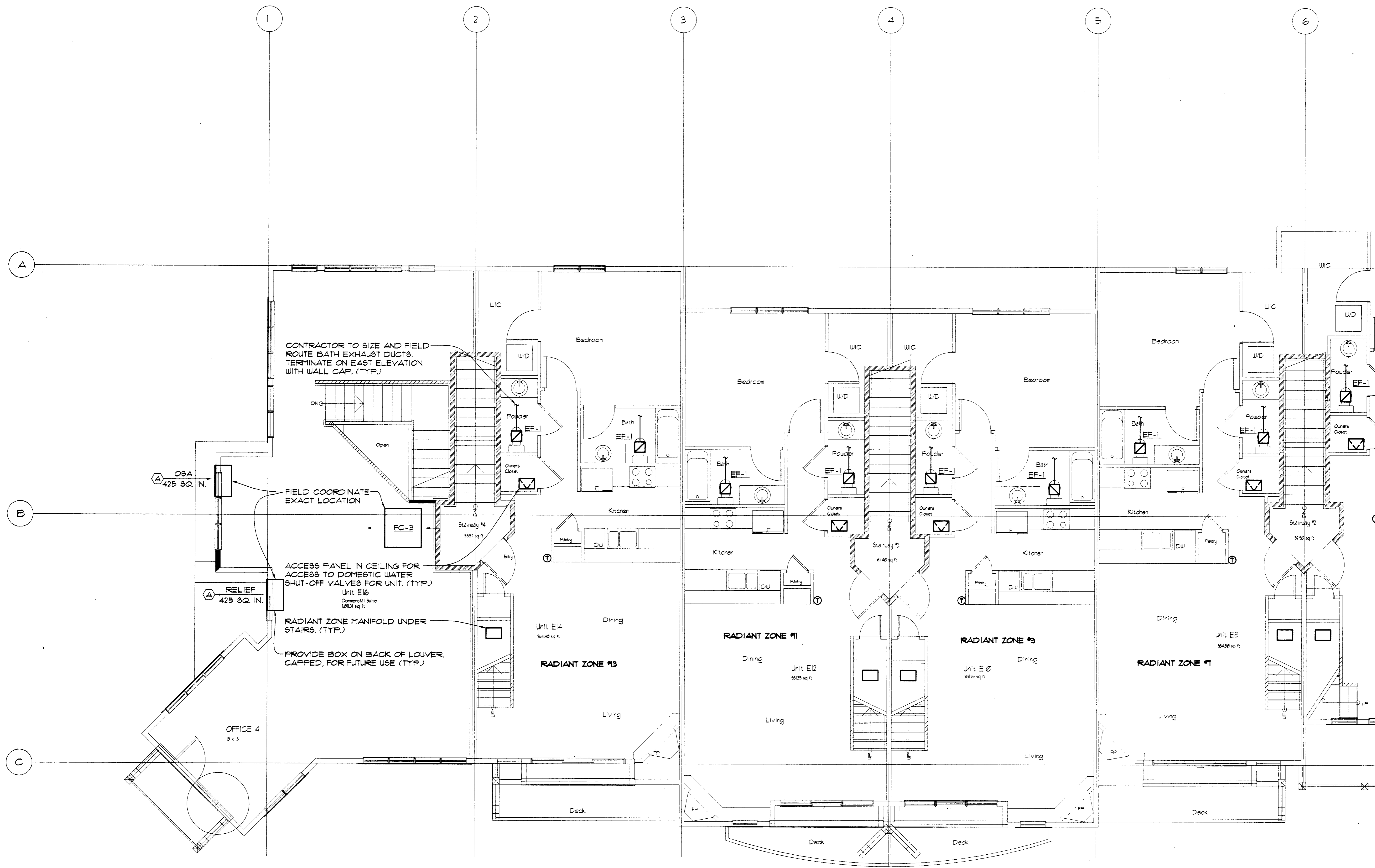
No.	Date	Comment
1	11/2/02	PER-11

MAIN LEVEL MECHANICAL PLAN

Project No. 2073.00	Date 11/12/02
Drawn By BJH	Checked By JDR

Sheet No. 3  
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**NOTES:**

1. FAN COILS HAVE BEEN SIZED FOR FUTURE AIR CONDITIONING. CONTRACTOR TO ROUGH-IN REFRIGERANT LINE SETS FROM CRAWL SPACE TO CEILING PLENUM FOR FUTURE USE.
2. OUTSIDE AIR INTAKE LOUVERS & PRESSURE RELIEF LOUVERS HAVE BEEN SIZED FOR ECONOMIZER COOLING (100% O.S.A.).

UPPER LEVEL MECHANICAL PLAN  
 1/4" = 1'-0"  
 NORTH

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 FRISCO, COLORADO**

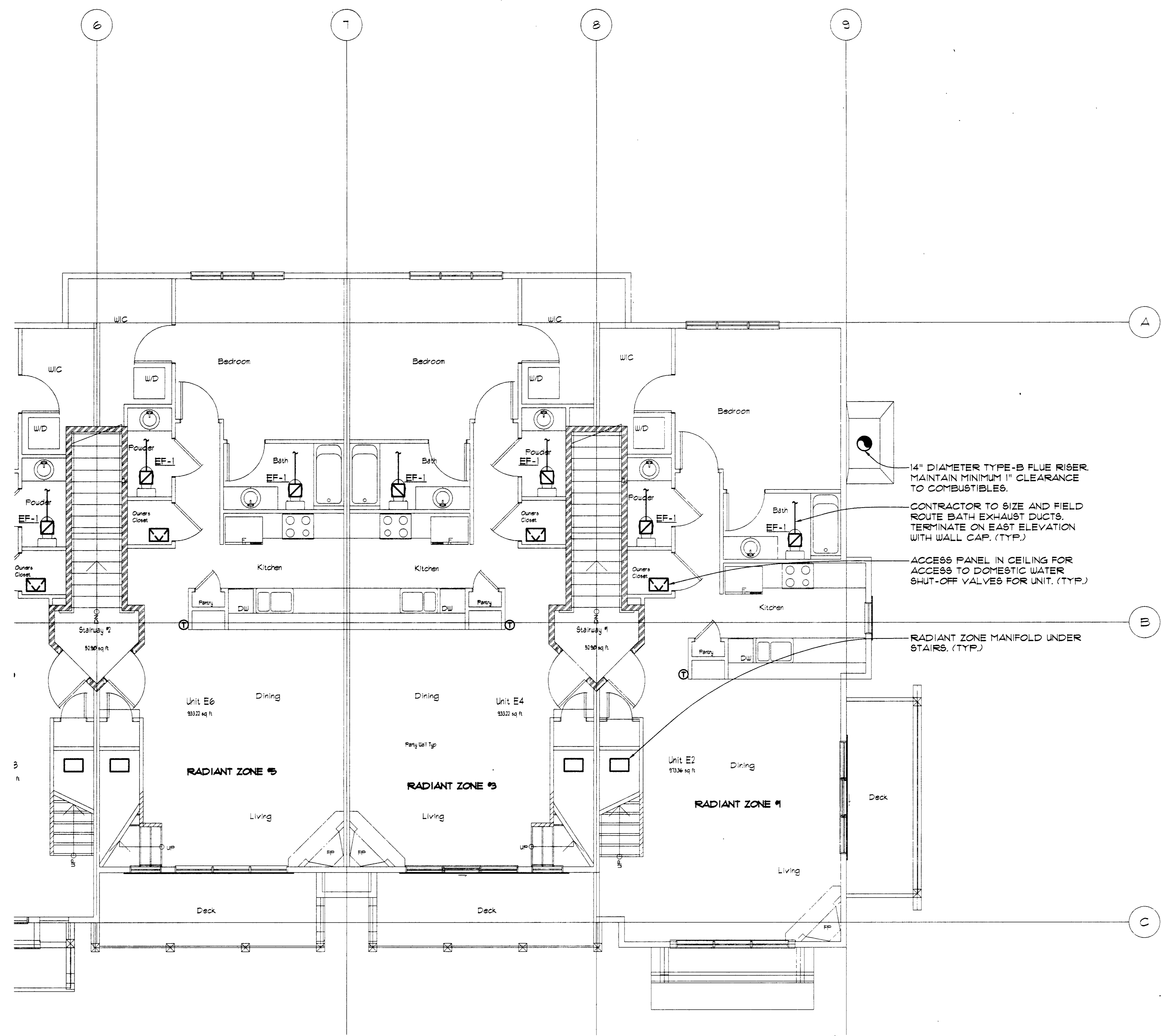
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UPPER LEVEL  
 MECHANICAL PLAN

Project No. 2013.00 Date: 11/12/02  
 Drawn By: BJH Checked By: JDR

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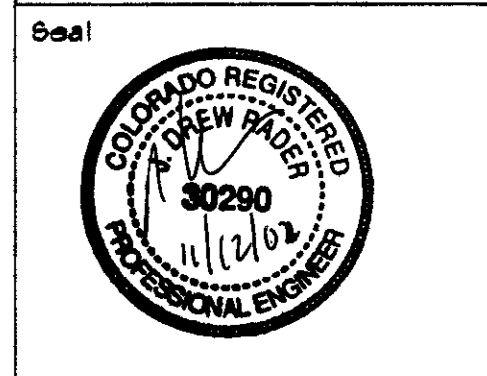
14" DIAMETER TYPE-B FLUE RISER  
 MAINTAIN MINIMUM 1" CLEARANCE  
 TO COMBUSTIBLES.

CONTRACTOR TO SIZE AND FIELD  
 ROUTE BATH EXHAUST DUCTS.  
 TERMINATE ON EAST ELEVATION  
 WITH WALL CAP. (TYP.)

ACCESS PANEL IN CEILING FOR  
 ACCESS TO DOMESTIC WATER  
 SHUT-OFF VALVES FOR UNIT. (TYP.)

RADIANT ZONE MANIFOLD UNDER  
 STAIRS. (TYP.)

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UPPER LEVEL  
 MECHANICAL PLAN

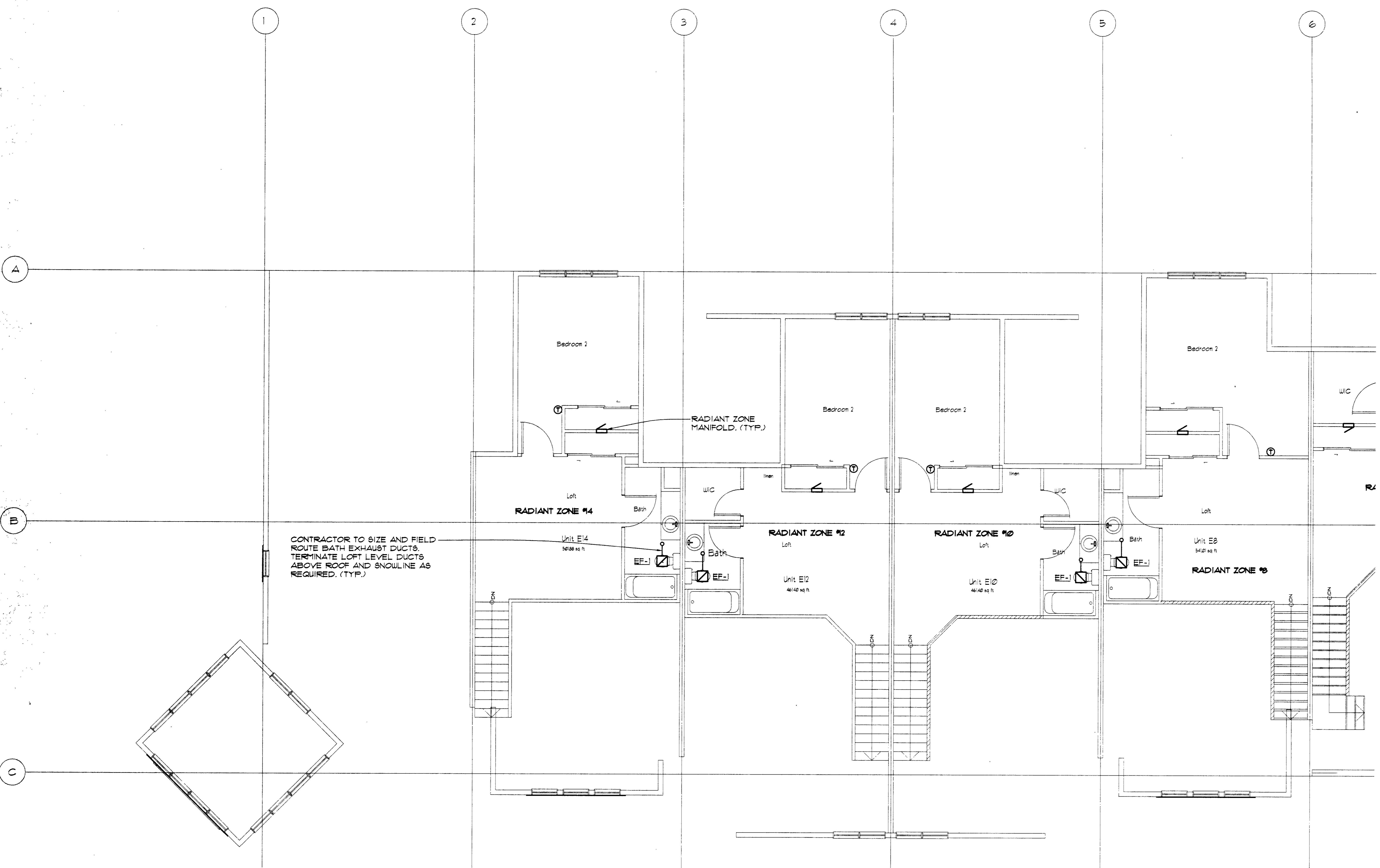
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LOFT LEVEL  
 MECHANICAL PLAN

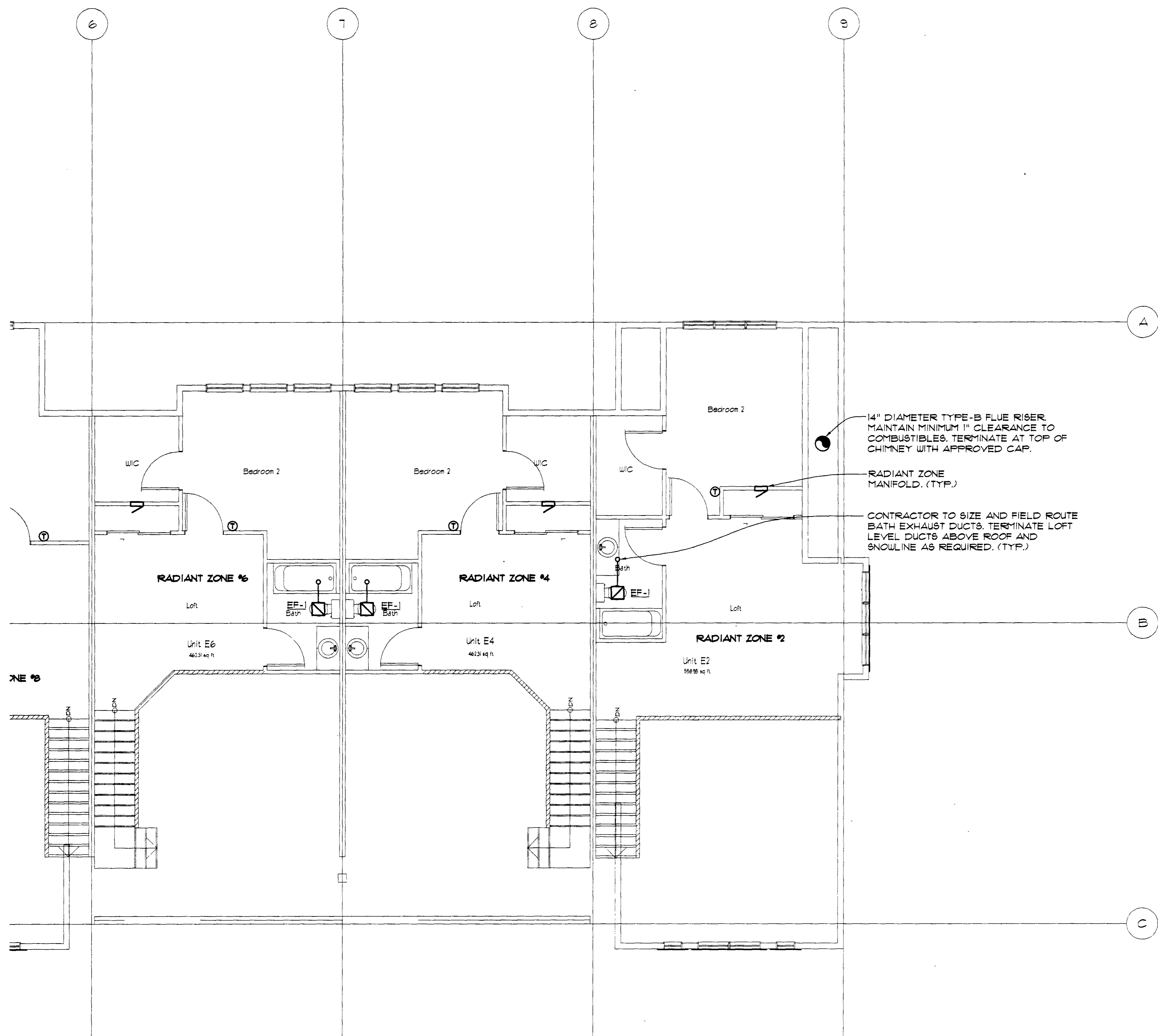
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**LOFT LEVEL MECHANICAL PLAN**  
 1/2" = 1'-0"



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LOFT LEVEL  
MECHANICAL PLAN

Project No: 207320	Date: 11/12/02
Drawn By: BJH	Checked By: JDR

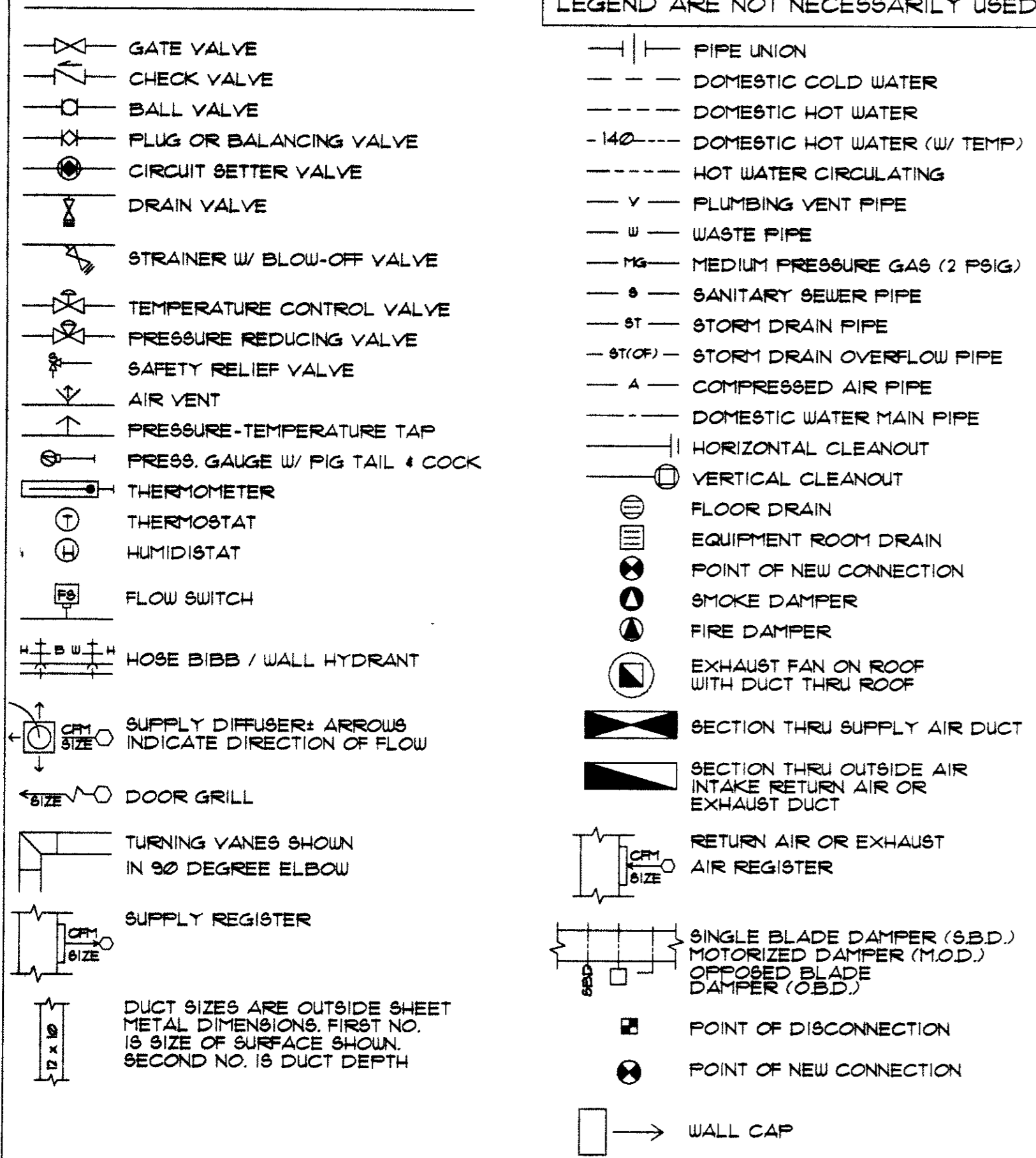
Sheet No. 1  
**M 2.6**  
of 8

**LOFT LEVEL MECHANICAL PLAN**  
1/4" = 1'-0"

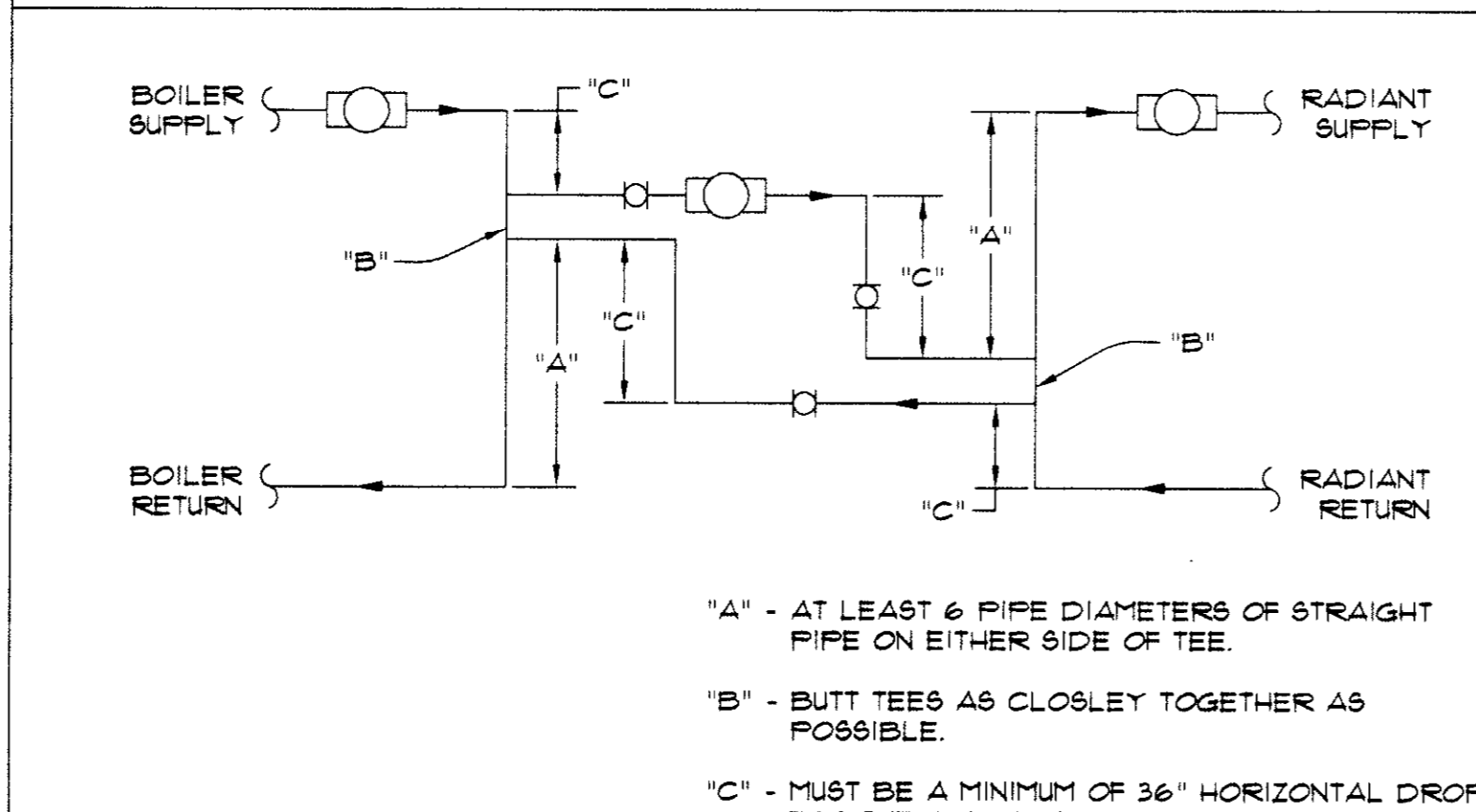


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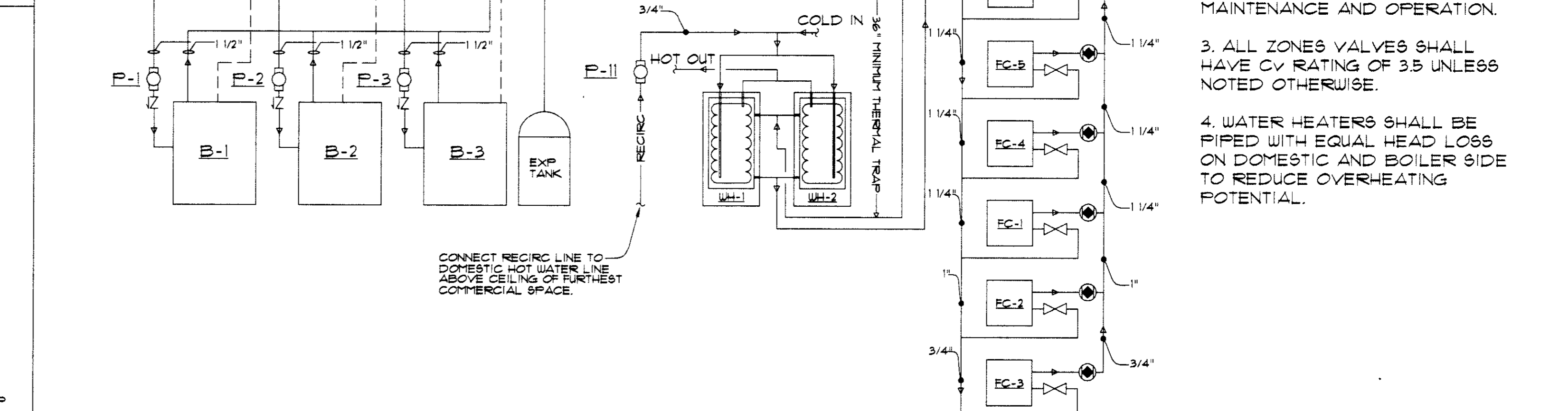
**MECHANICAL LEGEND**



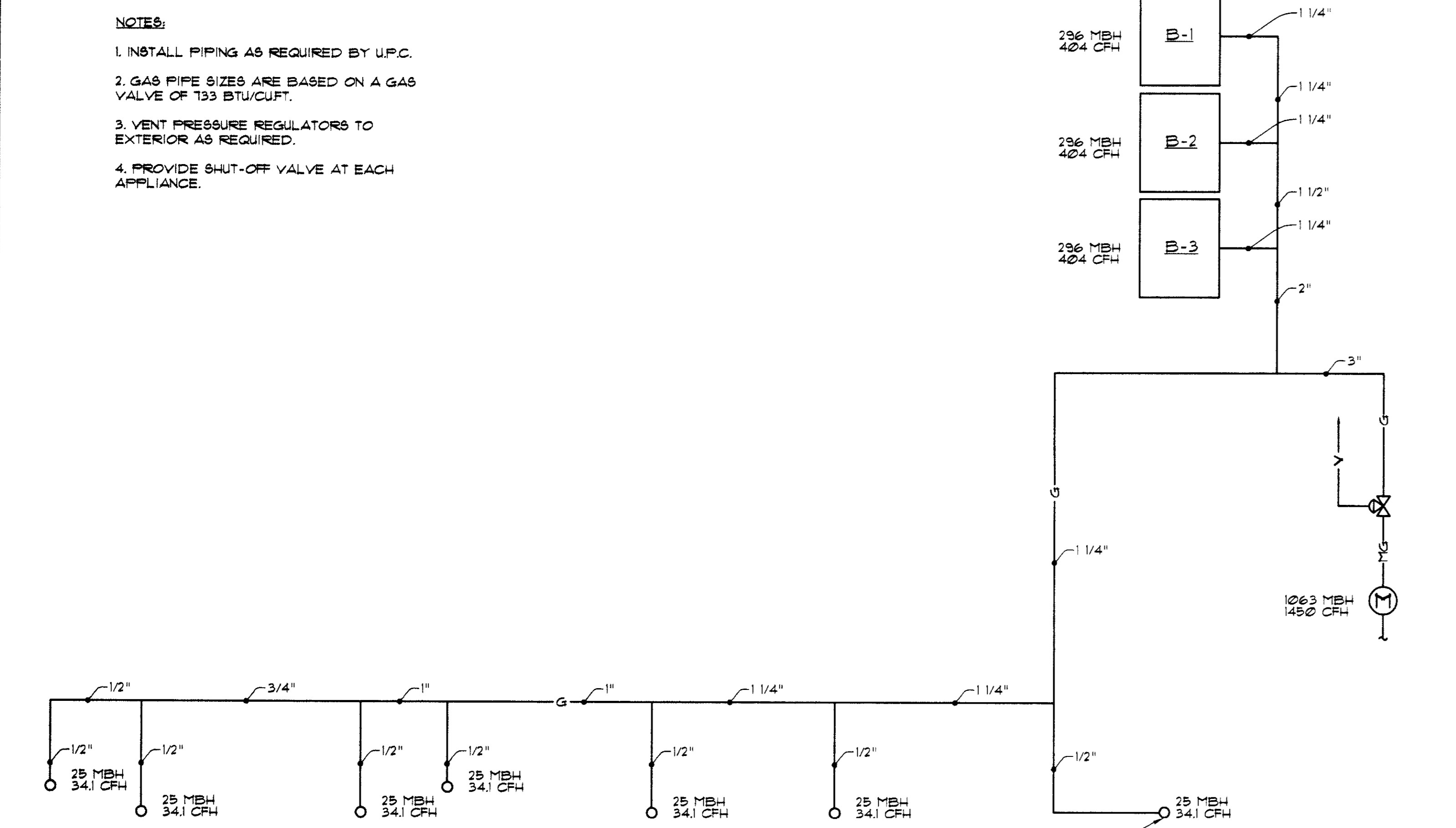
NOTE: ALL SYMBOLS SHOWN ON LEGEND ARE NOT NECESSARILY USED



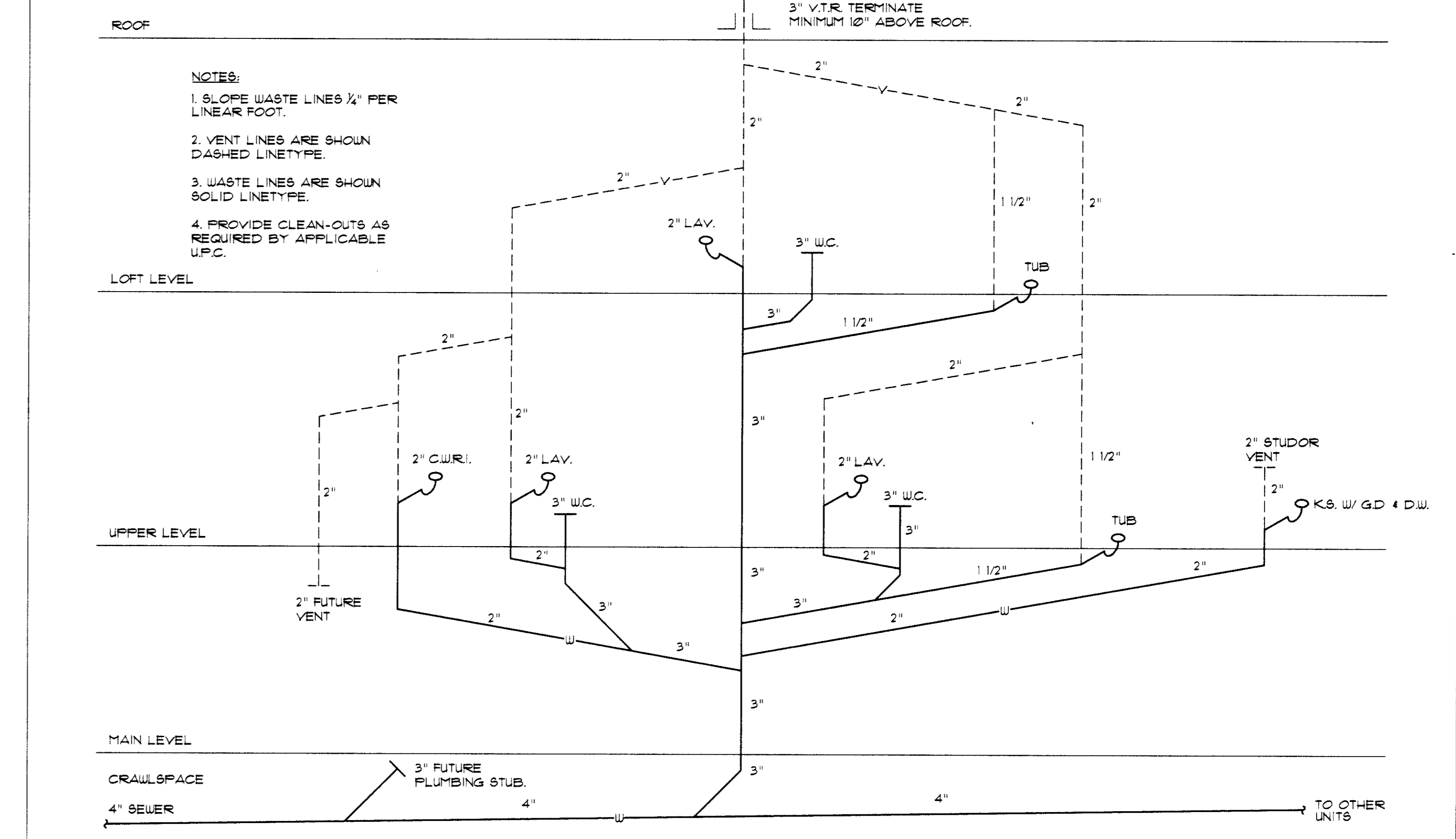
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NO SCALE



**BOILER PIPING SCHEMATIC**  
NO SCALE

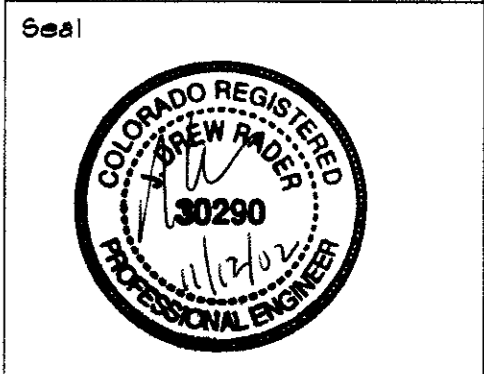


**GAS PIPING SCHEMATIC**  
NO SCALE



**TYPICAL WASTE & VENT SCHEMATIC**  
NO SCALE

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MECHANICAL SCHEMATICS

Project No. 2073.00	Date: 11/2/02
Drawn By: EJJ	Checked By: JDR
Sheet No. 8	
<b>M 3.0</b>	

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